

AGENDA

MAPLEWOOD CITY COUNCIL
7:00 P.M., Monday, February 24, 1992
Council Chambers, Municipal Building
Meeting No. 92-04

A. CALL TO ORDER

B. PLEDGE OF ALLEGIANCE

C. ROLL CALL

D. APPROVAL OF MINUTES

1. Council/Manager Meeting February 3, 1992
2. Meeting No. 92-04 (February 10, 1992)

E. APPROVAL OF AGENDA

F. CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion on these items. If a member of the City Council wishes to discuss an item, that item will be removed from the Consent Agenda and will be considered separately.

1. Approval of Claims
2. Planning Commission's Annual Report
3. Proclamation: Volunteers of America Week - March 1-8, 1992
4. 1992 Pay Rates - Temporary & Part-Time Employees (Non-Union)
5. Conditional Use Permit Review: Kennard St. (Korridor Capital Investments, Inc.)
6. Acquisition of Tax-Forfeit Property

G. PUBLIC HEARINGS

1. 7:00 P.M., Code Change: Car Washes and Maintenance Garages (1st Reading)_____
2. 7:20 P.M., House Moving: 2375 Minnehaha - Vietoris_____
3. 7:40 P.M., Conditional Use Permit Revision: Gervais Ave (Cottages of Maplewood West)

4. 8:00 P.M., Highwood-McKnight Outlet: Project 90-10 (4 Votes)_____

H. AWARD OF BIDS

1. Public Safety - Patrol Vehicles _____

I. UNFINISHED BUSINESS

NONE

J. NEW BUSINESS

1. 2194 Van Dyke (Launderville):
Conditional Use Permit Review _____
Home Occupation Permit Review _____
2. Building Relocation Ordinance (1st Reading) _____
3. Larpenteur Ave. - 35E - Edgerton: Project 86-27 _____
4. District 22 Sanitary Sewer - Project 91-10 _____

K. VISITOR PRESENTATIONS

L. COUNCIL PRESENTATIONS

1. _____
2. _____
3. _____
4. _____

M. ADMINISTRATIVE PRESENTATIONS

1. _____
2. _____
3. _____

N. ADJOURNMENT

COUNCIL/MANAGER MEETING
OF THE
CITY COUNCIL OF THE CITY OF MAPLEWOOD

4:30 p.m., Monday, February 3, 1992
Maplewood Room, City Hall

MINUTES

A. CALL TO ORDER

The Council/Manager meeting of the Maplewood City Council was held in the Maplewood Room, City Hall. The meeting was called to order by Acting Mayor Carlson at 4:30 p.m.

B. ROLL CALL

Mayor Gary Bastian	Present (Arrived at 5:30 p.m.)
Councilperson Dale Carlson	Present
Councilperson Fran Juker	Present
Councilperson George Rossbach	Present
Councilperson Joseph Zappa	Present

Others Present:

City Manager Michael McGuire
Assistant City Manager Gretchen Maglich
Community Development Director Geoff Olson

C. APPROVAL OF AGENDA

The following items were added to the agenda:

D. OLD BUSINESS

5. NSP Tree Trimming Update
6. Conference
7. Maplewood Library
8. July 4th/Maplewood Mall
9. Future Topics

F. FUTURE TOPICS

2. Update on City Manager's 91-92 Objectives

Councilmember Zappa moved that the agenda be approved as amended. The motion was seconded by Councilmember Rossbach and was approved.

Ayes: Carlson, Juker, Rossbach, and Zappa
Absent: Bastian

D. OLD BUSINESS

1. Older-Adult Home-Share Program

Mr. Tim Hammond, Lutheran Social Services, made a presentation about the Older-Adult Home-Share Program administered by Lutheran Social Services. Following some discussion, it was the consensus of the City Council to address future funding of the program at budget time.

Community Development Director Olson left the meeting at 5:10 p.m.

2. Organized Collection/Recycling

Mayor Bastian arrived at the meeting at 5:30 p.m.

Assistant City Manager Maglich introduced the topic of organized collection. Following some discussion, Councilmember Rossbach moved that the subject of organized collection be placed on an agenda of the regular City Council meeting for more discussion about publicizing the intent to organize the City's garbage collection. The motion was seconded by Councilmember Carlson and was unanimously approved.

Ayes: Bastian, Carlson, Juker, Rossbach, and Zappa

Councilmember Carlson presented information about recycling: current markets, source reduction, and products made from recycled materials. It was the consensus of the Council that a Council/Manager meeting in July will be dedicated to recycling, and representatives from Ramsey County, Gopher, and NSP will be invited to present information about profitability, costs, the environment, and markets.

3. Fire Fighters' Relief Association Update

City Manager McGuire presented an update on the status of the cities' (Maplewood, Oakdale, and Landfall) negotiations with the Fire Fighters' Relief Association.

4. Water Contract Negotiations Update

City Manager McGuire stated that the new Board of the St. Paul Water Utility has been appointed, and their first meeting has been scheduled for mid-February. One of their first items to evaluate will be the proposed wholesale contract with Maplewood.

5. NSP Tree Trimming Update

Councilmember Zappa reported that he met with NSP representatives regarding the City's proposed tree trimming ordinance, and NSP representatives have requested 90 days to meet with City staff to develop standards which address the City's concerns.

6. Conference/Retreat

Councilmember Juker presented her thoughts about the Council/staff retreat conducted at Riverwood last week. After some discussion, it was the consensus of the Council that individual Councilmembers would record their comments about the retreat and the facilitator, and then submit them to the City Manager.

7. Maplewood Library

Councilmember Carlson reported that the Ramsey County Library Board would like to meet with the City Council. It was the consensus of the Council that this meeting should be scheduled.

8. July 4th Celebration/Maplewood Mall

City Manager McGuire presented the Maplewood Mall's proposal to host the City's July 4th fireworks display. Following some discussion, it was the consensus of the Council to place this item on the next regular City Council meeting for consideration and official action.

9. Future Topics

The City Manager asked the Council for any items they would like placed on future Council/Manager meetings.

E. OTHER BUSINESS

There were no additional items discussed.

F. FUTURE TOPICS

1. Take Home Car Policy
2. Update on City Manager's 91-92 Objectives

G. ADJOURNMENT

The meeting was adjourned at 6:56 p.m.

2. Carryover of 1991 Appropriations to 1992

Approved carryover of the following 1991 Budget amounts to the 1992 Budget:

<u>Department</u>	<u>Amount</u>	<u>Account Number</u>	<u>For</u>
City Manager's	\$ 2,000	101-102-4480	Comparable worth time spent profiles
	3,000	101-119-4480	M.A.M.A. pay equity study update
	1,000	101-119-4640	Artwork for conference rooms
	1,000	101-504-4410	Painting and floor maintenance at Public Works Building that is being done in January and February (was a 1991 project)
Emergency Mgmt.	1,650	101-112-4430	Maintenance of radio control equipment on outdoor warning sirens
Finance	2,580	101-201-4630	Computer software for annual financial report and project management
	1,190	101-202-4630	Payroll software modification and chairs
City Clerk	9,010	101-304-4430	Maintenance contract for election machines
Parks & Recreation	945	101-602-4290	Balance of funds from contribution by Lions Club for Maplewood Flower Gardens
	235	101-604-4290	Balance of funds from the Howe Memorial for projects at the Maplewood Nature Center
Community Development	820	101-702-4490	Planning consultant fees to update comprehensive plan
	<u>\$23,430</u>	General Fund Total	
Data Processing	\$22,305	703-118-4430	Maintenance of new software and hardware
Capital Improvment.	8,470	405-000-4630	Remaining funds from construction and furnishing of new addition. Funds to be used for upgrades to heating and A/C systems, office furniture for training room, artwork for common areas.
	1,570	405-345-4720	Funds remaining in CIP for Nature Center parking which are requested to be used for the parking lot at the Nature Center/Prairie Area. Up until this time, the street that will be leading to the proposed parking lot at the prairie has not been completed.
	<u>\$32,345</u>	Total For Other Funds	
	<u>\$55,775</u>	Grant Total	

3. Budget Adjustment - 2050 White Bear Avenue

Authorized adjustments to the appropriate accounts in the 1992 Budget to reflect an increase in revenues of \$55,780 and an increase in expenditures of \$40,000 associated with the property at 2050 White Bear Avenue.

4. Budget Transfer: Engineering

Authorized the transfer of \$26,600 of the Public Works Department 1991 excess revenue to the Engineering Department 1991 Budget (101-503-000-4011) to cover overtime wage expenditures for Project 90-07.

5. 1991 Community Design Review Board Annual Report

Accepted the 1991 Community Design Review Board Annual Report which includes information on Board activity and member attendance.

6. Budget Adjustment: Recycling Costs

Approved a 1991 Budget adjustment increasing recycling revenues and the Fees for Service expense account (101-704-4480) by \$14,600.

7. Budget Adjustment: Police Squad Car

Authorized transfer of \$10,000 from the Contingency Account to purchase a police patrol vehicle which was totaled out when struck by a stolen vehicle in July of 1991.

G. PUBLIC HEARINGS

1. 7:00 P.M. (7:05 P.M.), Tax Increment Financing Plan

- a. Mayor Bastian convened the meeting for a public hearing regarding the City's Tax Increment Financing Plan.
- b. Manager McGuire presented the staff report.
- c. Director of Community Development Olson presented the specifics of the report.
- d. Mayor Bastian opened the public hearing, calling for proponents or opponents. No one appeared.
- e. Mayor Bastian closed the public hearing.
- f. Councilmember Rossbach introduced the following Resolution and moved its adoption:

91 - 02 - 15

**APPROVING THE MODIFIED TAX INCREMENT FINANCING PLAN
RELATING TO HOUSING DISTRICT NO. 1-4**

WHEREAS:

- A. The City of Maplewood (the "City") has heretofore created Housing District No. 1-4 within Development District No. 1 and it has been proposed that the City adopt a Modified Tax Increment Financing Plan with respect to Housing District No. 1-4 within Development District No. 1 under the provisions of Minnesota Statutes, Sections 469.124 to 469.134 and 469.174 to 469.179 (collectively the "Act");
- B. The City Council has investigated the facts and has caused to be prepared a Modified Tax Increment Financing Plan for Housing District No. 1-4; and

- C. The City has performed all actions required by law to be performed prior to the proposed Modified Tax Increment Financing Plan relating to Housing District No. 1-4, including, but not limited to, notification of Ramsey County, Independent School District No. 622 and Special Intermediate School District No. 916 having taxing jurisdiction over the property included in Housing District 1-4, and the holding of a public hearing upon published and mailed notice as required by law.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Maplewood as follows:

1. Modified Tax Increment Financing Plan. The Modified Tax Increment Financing Plan for Housing District No. 1-4, a copy of which is on file in the office of the Clerk, is adopted as the Tax Increment Financing Plan for Housing District No. 1-4.
- a. Housing District No. 1-4 when established was established as a housing district as defined in Minnesota Statutes, Section 469.174, subd. 11, the specific basis for such determination being that the multifamily senior rental housing development to be undertaken by The Cottages of Maplewood West Limited Partnership consists of a project, or a portion of a project, intended for occupancy, in part, by persons or families of low and moderate income, as defined in Chapter 462A, Title II of the National Housing Act of 1934, the National Housing Act of 1959, the United States Housing Act of 1937, as amended, Title V of the Housing Act of 1949, as amended, any other similar present or future federal, state, or municipal legislation, or the regulations promulgated under any of those acts.
- b. The proposed redevelopment in the opinion of the City Council, would not occur solely through private investment within the reasonably foreseeable future and therefore the use of tax increment financing is deemed necessary.

The reasons supporting this finding are that:

The Cottages of Maplewood West Limited Partnership has represented to the City that they would not undertake the project in Maplewood without the City's use of tax increment financing. Private investment will not finance these development activities because of prohibitive costs. It is necessary to finance these development activities through the use of tax increment financing so that other development by private enterprise will occur within Development District No. 1.

- c. The Modified Tax Increment Financing Plan for Housing District No. 1-4 conforms to the general plan for development or redevelopment of the City of Maplewood as a whole.

The reasons supporting this finding are that:

- (i) Housing District No. 1-4 is properly zoned;
and

(ii) The Modified Tax Increment Financing Plan will generally compliment and serve to implement policies adopted in the City's comprehensive plan.

- d. The Modified Tax Increment Financing Plan will afford maximum opportunity and consistent with the sound needs of the City of Maplewood as a whole, for the development or redevelopment of Development District No. 1 by private enterprise.

The reasons supporting this finding are that:

The development activities are necessary so that development and redevelopment by private enterprise can occur within Development District No. 1.

2. Public Purpose. The Modified Tax Increment Financing Plan for Housing District No. 1-4 conforms in all respects to the requirements of the Act and will help fulfill a need to develop an area of the City which is already built up to provide employment opportunities to improve the tax base, and to improve the general economy of the State and thereby serves a public purpose.
3. Filing. The City Clerk is further authorized and directed to file a copy of the Modified Tax Increment Financing Plan for Housing District No. 1-4 with the Commissioner of Revenue.

Seconded by Councilmember Juker

Ayes - all

H. AWARD OF BIDS

NONE

I. UNFINISHED BUSINESS

NONE

J. NEW BUSINESS

1. 1992 Community Development Block Grant
 - a. Manager McGuire presented the staff report.
 - b. Director of Community Development Olson presented the specifics of the report.
 - c. Mayor Bastian asked if anyone wished to speak before the Council regarding this matter. No one appeared.
 - d. Mayor Bastian introduced the following Resolution and moved its adoption:

**AUTHORIZING APPLICATION FOR
RAMSEY COUNTY COMMUNITY DEVELOPMENT BLOCK GRANT FUNDS**

WHEREAS, this development is known as the Cottages of Maplewood West and is located on a site along the north side of Gervais Avenue, west of White Bear Avenue.

WHEREAS, this project has been approved by the city and is consistent with the Maplewood Comprehensive Plan.

WHEREAS, Maplewood wishes to help meet the housing needs of low and moderate income senior citizens.

WHEREAS, Maplewood has approved tax-increment and tax-exempt financing to reduce the rents of this project for low and moderate income senior citizens.

WHEREAS, the City would use a Community Development Block Grant to reduce the tax-increment financing for this project.

WHEREAS, reducing tax-increment financing would benefit Ramsey County and the City.

WHEREAS, the County approved a similar grant for the Village on Woodlynn senior project (previously known as the Cottages of Maplewood).

NOW, THEREFORE, BE IT RESOLVED that the Maplewood City Council requests that Ramsey County approve a Community Development Block Grant for the Cottages of Maplewood West.

Seconded by Councilmember Carlson

Ayes - all

2. I-494 - Courtly Road Interchange

- a. Manager McGuire presented the staff report.
- b. Director of Public Works Haider presented the specifics of the report.
- c. Mayor Bastian asked if anyone wished to speak before the Council regarding this matter. The following were heard:

Abbey Grundfeld, Woodbury resident, 2486 C Cobblehill Alcove
Mrs. Whitacre, 751 So. Century
David Heim, 815 So. Century

- d. Councilmember Rossbach moved to direct staff to draft a letter indicating all the adverse effects for Maplewood if the 494 interchange is constructed (drainage, wetland, safety issues, traffic).

Seconded by Councilmember Carlson

Ayes - all

G. PUBLIC HEARINGS (Cont.)

2. 7:15 P.M. (7:57 P.M.), Chemlawn Building (1167 Highway 36)

Variances
Outside Storage
Plan Revisions

- a. Mayor Bastian convened the meeting for a public hearing regarding the Chemlawn Building at 1167 Highway 36.
- b. Manager McGuire presented the staff report.
- c. Director of Community Development Olson presented the specifics of the report.
- d. Mayor Bastian opened the public hearing, calling for proponents or opponents. The following persons were heard:
 - Dan Werner, Chemlawn
 - Richard Goebel, Second Harvest, St. Paul Food Bank, 1140 Gervais
- e. Mayor Bastian closed the public hearing.
- f. Councilmember Rossbach introduced the following Resolution and moved its adoption:

92 - 02 - 17

VARIANCE RESOLUTION

WHEREAS, Chemlawn Services Corporation applied for a variance from the zoning ordinance at 1667 East Highway 36. The legal description is:

Subject to STH 36-118 and STH 61-1, the W 180 ft. of E 270
ft. of Blk 21, Clifton Addition, Ramsey County, MN.

WHEREAS, Section 36-26(c)(5)(b) of the Maplewood Code of Ordinances requires that parking lots have a five-foot setback from adjacent properties.

WHEREAS, the applicant is proposing that their parking lot go up to their east, west and north property lines.

WHEREAS, this requires a variance of five feet.

WHEREAS, the history of this variance is as follows:

1. This variance was reviewed by the Community Design Review Board on January 14, 1992. They recommended that the City Council approve the variance.
2. The City Council held a public hearing on February 10, 1992. City staff published a notice in the Maplewood Review and sent notices to the surrounding property owners as required by law. The Council gave everyone at the hearing an opportunity to speak and present written statements. The Council also considered reports and recommendations from the City staff and Planning Commission.

NOW, THEREFORE, BE IT RESOLVED that the City Council approve the above-described variance for the following reasons:

1. Strict enforcement would cause undue hardship because of circumstances unique to the property under consideration, since:
 - a. Chemlawn's parking lot abuts another parking lot on the west, a truck loading area on the north and the rear of a commercial building on the east.
 - b. The variances are needed for more parking.
2. The variance would be in keeping with the spirit and intent of the ordinance, since:
 - a. Most of the rear parking lot is not visible from the street.
 - b. The fence would prevent encroachment of vehicles onto adjacent property.

Seconded by Councilmember Carlson

Ayes - all

Outside Storage:

- g. Councilmember Rossbach moved to approve the outside storage area on the east side of the building, subject to screening this area on the east and south with plastic slats. These slats must be a color that matches the building, unless staff approves a different color.

Seconded by Councilmember Carlson

Ayes - all

Plan Revisions:

- h. Councilmember Rossbach moved approval of the plan revisions for Chemlawn Service Corporation's site and landscaping plans as submitted, subject to Chemlawn doing the following within one month of paving the lot or installing the fence:
 1. The gate along the rear lot line should be locked at all times.
 2. Increase the width of the south gate from 10 to 14 feet, for emergency vehicle access.
 3. Submit a certificate of survey of the site with stakes in place before getting a building permit for the fence or paving the parking lot.
 4. Cut down the existing Russian Olive Trees along the west lot line and replace with four trees subject to staff approval. The three proposed Marshall's Ash trees must be at least 2½ inches in caliper, balled and burlapped.
 5. Clean and maintain site to be free of all debris and trash.

6. Remove the stored materials in the northeast corner of the site and restore this area to a striped parking lot.
7. Stripe the rear parking lot with at least nine-foot-wide stalls.
8. Put up "No Parking, Fire Lane" signs on both sides of all the driveways, except where there are parking spaces shown on the plan approved by the City.

Seconded by Councilmember Carlson

Ayes - all

J. NEW BUSINESS (Cont.)

3. Highwood/McKnight Outlet: Project 90-10 - Schedule Public Hearing

- a. Manager McGuire presented the staff report.
- b. Director of Public Works Haider presented the specifics of the report.
- c. Mayor Bastian asked if anyone wished to speak before the Council regarding this matter. No one appeared.
- d. Councilmember Juker introduced the following Resolution and moved its adoption:

92 - 02 - 18

ACCEPTING REPORT AND CALLING FOR PUBLIC HEARING

WHEREAS, the City Engineer for the City of Maplewood has been authorized and directed to prepare a report with reference to the improvement of Highwood-McKnight Outlet, City Project 90-10, by construction of storm sewer, ponding areas, sanitary sewer and services, and

WHEREAS, the said City Engineer has prepared the aforesaid report for the improvement herein described:

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF MAPLEWOOD, MINNESOTA, as follows:

1. The report of the City Engineer advising this Council that the proposed improvement on Highwood-McKnight Outlet by construction of storm sewer, ponding areas, sanitary sewer and services, and
2. The Council will consider the aforesaid improvement in accordance with the reports and the assessment of benefited property for all or a portion of the cost of the improvement according to MSA Chapter 429, at an estimated total cost of the improvement of \$914,000.
3. A public hearing will be held in the Council Chambers of the City Hall at 1830 East County Road B on Monday, the 24th day of February, 1992, at 8 p.m. to consider said improvement. The City Clerk shall give mailed and published notice of said hearing and improvement as required by law.

Seconded by Mayor Bastian

Ayes - all

4. July 4th Celebration

- a. Manager McGuire presented the staff report.
- b. Assistant Director of Parks & Recreation Staples presented the specifics of the report.
- c. Mayor Bastian asked if anyone wished to speak before the Council regarding this matter. The following were heard:

Mr. Jeff Carver, representing Maplewood Mall
Jack Herbst, North Star Display

- d. Councilmember Carlson moved to approve the staff recommendation to enter into a partnership with Maplewood Mall for the July 4th celebration, "A Star Spangled Night" with further plans to be approved by Council.

Seconded by Councilmember Rossbach

Ayes - Mayor Bastian, Councilmembers
Carlson, Rossbach
Nays - Councilmember Juker

K. VISITOR PRESENTATIONS

1. Don Houghton, 1825 Lakewood Drive, spoke on behalf of supporting the second amendment - the right to bear arms.
 - a. Mayor Bastian stated this Council has not done anything to take away Mr. Houghton's rights under the second amendment.
2. Kevin Berglund questioned the Council about various activities in Maplewood.

L. COUNCIL PRESENTATIONS

1. Consolidation Commission

- a. Councilmember Carlson stated that Manager McGuire has served countless hours on the Commission and deserves the Council's thanks.
- b. Manager McGuire reported on various matters under discussion by the Commission.

2. Relief Fund

- a. Councilmember Juker asked for the date of the next Relief Fund Sub-Committee meeting with City Manager McGuire.
- b. City Manager McGuire will notify the Council of the meeting.

3. In Your Interest

- a. Councilmember Rossbach expressed concern about the article in the Maplewood Mall "In Your Interest" newsletter regarding the Community Center and how it is to be funded, stating the information was premature - that no decisions have been made about it.
- b. Staff stated the figure of \$13,000,000 came directly from the Capital Improvement Plan.

4. Council Review of Applicants for Commissions and Boards

- a. Mayor Bastian stated that in previous years Council reviewed candidates for City Commissions and Boards. He questioned whether there was a need to do so at this time.
- b. It was the consensus of the Council that the Commissions and Boards should review their applicants.

M. ADMINISTRATIVE PRESENTATIONS

NONE

N. ADJOURNMENT OF MEETING

9:37 P.M.

Lucille E. Aurelius
City Clerk

AGENDA REPORT

TO: City Manager
FROM: Finance Director
RE: APPROVAL OF CLAIMS
DATE: February 14, 1992

Action by Council:

Endorsed _____
 Modified _____
 Rejected _____
 Date _____

It is recommended that the Council approve payment of the following claims:

ACCOUNTS PAYABLE:

\$ 308,171.52	Checks # 25273 thru # 25328 Dated 2-3-92 thru 2-12-92
<u>\$ 229,410.89</u>	Checks # 16239 thru # 16381 Dated 2-24-92
\$ 537,582.41	Total per attached voucher/check register

PAYROLL:

\$ 201,815.28	Payroll Checks #25234 thru #25398 dated 2-14-92
<u>\$ 38,378.45</u>	Payroll Deduction checks #25403 thru #25419 dated 2-14-92
\$ 240,193.73	Total Payroll
\$ 777,776.14	GRAND TOTAL

Attached is a detailed listing of these claims.

lz

Attachments
 FINANCE/APPRCLMS.AGN

CITY OF MAPLEWOOD
VOUCHER/CHECK REGISTER
FOR PERIOD 15

VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
25273	341706	02/03/92	HERITAGE BANK	F.I.C.A. PAYABLE FEDERAL INCOME TAXES PAYABLE FICA CONTRIBUTIONS	10,058.60 22,789.50 10,058.60	42,906.70
25274	541400	02/03/92	MINN. STATE TREASURER	MOTOR VEH LIC FEES PAYABLE	2,747.88	2,747.88
25275	541400	02/03/92	MINN. STATE TREASURER	STATE DRIVERS LIC FEES PAYABLE	704.00	704.00
25276	120325	02/03/92	CELLULAR ONE	TELEPHONE	14.52	14.52
25277	560100	02/03/92	MN STATE COMMISSIONER	STATE INCOME TAX PAYABLE	9,142.97	9,142.97
25278	341706	02/03/92	HERITAGE BANK	WAGE DEDUCTION	437.50	437.50
25279	943500	02/03/92	WISCONSIN DEPT. OF REVENUE	STATE INCOME TAX PAYABLE	163.02	163.02
25280	010250	02/03/92	A.F.S.C.M.E.	UNION DUES PAYABLE	8.90	8.90
25281	541400	02/04/92	MINN. STATE TREASURER	LICENSE	2,804.50	2,804.50
25282	541400	02/04/92	MINN. STATE TREASURER	LICENSE	960.50	960.50
25283	200910	02/05/92	DIXIES RESTAURANT ON GRAND	FEES FOR SERVICE	213.36	213.36
25284	542110	02/05/92	MINNESOTA CRIME PREVENTION	TRAVEL & TRAINING	25.00	25.00
25285	761335	02/05/92	RODA SIGNS, INC & SCREEN TECH	SIGNS & SIGNALS	325.75	325.75
25286	541400	02/05/92	MINN. STATE TREASURER	MOTOR VEH LIC FEES PAYABLE	4,365.16	4,365.16
25287	541400	02/05/92	MINN. STATE TREASURER	ATE DRIVERS LIC FEES PAYABLE	649.00	649.00
25288	010275	02/05/92	A.I.A. & ADA VIDEO CONFERENCES	TRAVEL & TRAINING	195.00	195.00
25289	960700	02/05/92	LINDA ZICK	PROGRAM SUPPLIES FEES FOR SERVICE PROGRAM SUPPLIES SUPPLIES-JANITORIAL SUPPLIES-EQUIPMENT SUPPLIES-EQUIPMENT STAGE FEES FOR SERVICE SUPPLIES-OFFICE PROGRAM SUPPLIES TRAVEL & TRAINING PROGRAM SUPPLIES TRAVEL & TRAINING SUPPLIES-OFFICE SUPPLIES-EQUIPMENT SUPPLIES-EQUIPMENT FEES FOR SERVICE	18.87 8.08 15.83 26.77 3.38 .75 4.84 7.48 15.15 18.29 .75 11.99 7.68 1.50 7.22 10.95 1.00	

CITY OF MAPLEWOOD
VOUCHER/CHECK REGISTER
FOR PERIOD 15

VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
				SUPPLIES-OFFICE	2.76	163.69
25290	140400	02/06/92	CLERK OF DISTRICT COURT	CNTY DRIVERS LIC FEES PAYABLE	132.00	132.00
25291	541400	02/06/92	MINN. STATE TREASURER	STATE DRIVERS LIC FEES PAYABLE	393.00	393.00
25292	541400	02/06/92	MINN. STATE TREASURER	MOTOR VEH LIC FEES PAYABLE	2,444.25	2,444.25
25293	931155	02/06/92	WALGREENS	SUPPLIES-OFFICE	22.38	22.38
25294	551100	02/06/92	MN MUTUAL LIFE INSURANCE	HEALTH LIFE DENTAL INSURANCE	904.20	
				HOMA DEDUCTION PAY	334.22	
				LIFE INSURANCE PAYABLE	381.19	
				A/R INSURANCE CONTINUANCE	24.84	1,644.49
25295	180100	02/06/92	D.C.A., INC.	FEES FOR SERVICE	273.70	273.70
25296	530100	02/06/92	MEDICA CHOICE	HEALTH LIFE DENTAL INSURANCE	15,673.31	
				HOMA DEDUCTION PAY	2,045.76	
				PHP INS DEDUCTIONS PAYABLE	153.52	
				A/R INSURANCE CONTINUANCE	532.07	18,404.66
25297	320500	02/06/92	GROUP HEALTH INC.	HEALTH LIFE DENTAL INSURANCE	11,666.64	
				HOMA DEDUCTION PAY	3,013.08	
				A/R INSURANCE CONTINUANCE	758.69	15,438.41
25298	501400	02/07/92	MADISON NATIONAL LIFE	L.T.D. INSURANCE	1,718.07	1,718.07
25299	461200	02/07/92	LESLIE PAPER	SUPPLIES-OFFICE	138.16	
				SUPPLIES-OFFICE	14.49	
				SUPPLIES-OFFICE	119.73	
				SUPPLIES-OFFICE	393.21	
				SUPPLIES-OFFICE	148.24	
				SUPPLIES-OFFICE	115.47	
				SUPPLIES-OFFICE	359.34	
				SUPPLIES-OFFICE	286.71	1,575.35
25300	820128	02/07/92	SIGN TIFIC	PROGRAM SUPPLIES	106.00	106.00
25301	531350	02/07/92	METRO WASTE CONTROL COMMISSION	SEWAGE TREATMENT	161,811.00	161,811.00
25302	190400	02/07/92	DEPT. OF NATURAL RESOURCES	DNR LICENSE FEES PAYABLE	132.00	132.00
25303	541400	02/07/92	MINN. STATE TREASURER	STATE DRIVERS LIC FEES PAYABLE	620.50	620.50
25304	541400	02/07/92	MINN. STATE TREASURER	MOTOR VEH LIC FEES PAYABLE	3,119.50	3,119.50
25305	541400	02/10/92	MINN. STATE TREASURER	MOTOR VEH LIC FEES PAYABLE	2,444.69	2,444.69
25306	541400	02/10/92	MINN. STATE TREASURER	STATE DRIVERS LIC FEES PAYABLE	607.50	607.50

VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
25307	810825	02/11/92	GOVERNMENT FINANCE OFFICERS	FEES FOR SERVICE	250.00	250.00
25308	842575	02/11/92	STATE OF MINNESOTA	SUPPLIES-OFFICE	228.83	228.83
25309	510100	02/11/92	MAPLE LEAF OFFICIALS ASSN.	FEES FOR SERVICE FEES FOR SERVICE FEES FOR SERVICE	2,634.50 1,200.00 15.00	3,849.50
25310	260765	02/11/92	FIRE MARSHALL'S ASSN OF MINN.	TRAVEL & TRAINING	75.00	75.00
25311	391650	02/11/92	INTL NARCOTIC ENFORCEMENT	SUBSCRIPTIONS & MEMBERSHIPS	30.00	30.00
25312	630911	02/11/92	NATL DARE OFFICERS ASSN	SUBSCRIPTIONS & MEMBERSHIPS	40.00	40.00
25313	910500	02/11/92	VASKO RUBBISH REMOVAL	FEES FOR SERVICE	329.09	329.09
25314	230901	02/11/92	EASTMAN KODAK CREDIT CORP.	ACCOUNTS PAYABLE	975.20	975.20
25315	630250	02/11/92	NATIONAL AUTO DEALERS USED CAR	SUBSCRIPTIONS & MEMBERSHIPS	43.00	43.00
25316	131200	02/11/92	CHLEBECK, JUDY	SALARIES PAYABLE	520.37	520.37
25317	541400	02/11/92	MINN. STATE TREASURER	MOTOR VEH LIC FEES PAYABLE	2,916.75	2,916.75
25318	541400	02/11/92	MINN. STATE TREASURER	STATE DRIVERS LIC FEES PAYABLE	448.00	448.00
25319	230901	02/11/92	EASTMAN KODAK CREDIT CORP.	ACCOUNTS PAYABLE	991.87	991.87
25320	230901	02/11/92	EASTMAN KODAK CREDIT CORP.	ACCOUNTS PAYABLE	866.97	866.97
25321	910500	02/11/92	VASKO RUBBISH REMOVAL	FEES FOR SERVICE	231.11	231.11
25322	690205	02/12/92	OLD LOG THEATRE	FEES FOR SERVICE	728.50	728.50
25323	091440	02/12/92	BROWN AND CRIS, INC.	CONTRACTS PAY-RETAINAGE	6,205.90	6,205.90
25324	541400	02/12/92	MINN. STATE TREASURER.	LICENSE	439.00	439.00
25325	541400	02/12/92	MINN. STATE TREASURER	LICENSE	12,006.16	12,006.16
25326	131500	02/12/92	CITY COUNTY EMPLOYEE	CREDIT UNION DED PAY	206.00	206.00
25327	820450	02/12/92	KATHRYN A. SMITH	DEP COMP	10.32	10.32
25328	790200	02/12/92	SCHULTIES PLUMBING	DUP PAY - SCHU0991	15.00	15.00
16239	010175	02/24/92	A.A.A. TYPEWRITER-OFFICE PROG.	DUPLICATING COSTS	62.90	62.90
16240	010550	02/24/92	ACCURATE ELECTSIC	RPR & MAINT/UTILITY	62.92	62.92
16241	010575	02/24/92	ACC HARDWARE	SUPPLIES-JANITORIAL	31.04	

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VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
				SUPPLIES-JANITORIAL	12.73	
				SUPPLIES-EQUIPMENT	10.23	
				SUPPLIES-JANITORIAL	55.30	
				SUPPLIES-JANITORIAL	14.44	
				SUPPLIES-JANITORIAL	45.50	
				SUPPLIES-JANITORIAL	2.06	
				SUPPLIES -JANITORIAL	23.96	
				SUPPLIES-JANITORIAL	9.41	
				SUPPLIES-JANITORIAL	55.91	260.58
16242	020400	02/24/92	AIR SIGNAL, INC.	FEEES FOR SERVICE	43.26	
				FEEES FOR SERVICE	7.94	
				FEEES FOR SERVICE	28.15	
				FEEES FOR SERVICE	6.00	
				FEEES FOR SERVICE	12.50	97.85
16243	020825	02/24/92	ALL RITE ELECTRIC COMPANY	LABOR	161.18	161.18
16244	020883	02/24/92	ALPHA COMPUTERS, INC.	SUPPLIES-EQUIP	60.66	60.66
16245	021600	02/24/92	AMERICAN WATER WORKS	SUBSCRIPTIONS & MEMBERSHIPS	66.00	66.00
16246	021775	02/24/92	AMUS	MEMBERSHIP	65.00	65.00
16247	030660	02/24/92	ANIMAL CONTROL SERVICES, INC.	FEEES FOR SERVICE	1,916.00	1,916.00
16248	031100	02/24/92	APPEARANCE PLUS	REPAIR & MAINT/VEHICLE	24.00	
				REPAIR & MAINT/VEHICLE	6.00	30.00
16249	040700	02/24/92	ARDEN SHOREVIEW HOSPITAL	FEEES FOR SERVICE	33.04	33.04
16250	040915	02/24/92	ARNALS AUTO SERVICE	REPAIR & MAINT/VEHICLE	49.20	
				REPAIR & MAINT/ VEHICLE	1,876.71	
				REPAIR & MAINT/ VEHICLE	286.42	2,212.33
16251	050350	02/24/92	AURELIUS, LUCILLE	TRAVEL & TRAINING	37.41	
				VEHICLE ALLOWANCE	12.48	49.89
16252	061725	02/24/92	BAT CONSERVATION INTERNATIONAL	EQUIPMENT-OFFICE	260.00	
				BOOKS	13.70	273.70
16253	061900	02/24/92	BATTERY TIRE WAREHOUSE	SUPPLIES VEHICLE	21.27	21.27
16254	071100	02/24/92	BERWALD ROOFING CO.	FEEES FOR SERVICE	1,152.00	
				SUPPLIES-EQUIPMENT	88.00	1,240.00
16255	091450	02/24/92	BROWNING-FERRIS IND.	FEEES FOR SERVICE	87.00	87.00
16256	100500	02/24/92	BSN	PROGRAM SUPPLIES	99.00	99.00
16257	101400	02/24/92	BUILDERS SQUARE	SUPPLIES-EQUIPMENT	50.90	50.90

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VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
16258	101550	02/24/92	BUREAU CRIMINAL APPREHENSION	DUE TO OTHER GOVERNMENT UNITS	940.00	940.00
16259	101870	02/24/92	BUSINESS ECONOMICS ED. FOUND.	PROGRAM SUPPLIES	12.00	12.00
16260	101900	02/24/92	BUSINESS RECORDS CORP., MN	FEES FOR SERVICE	32.75	32.75
16261	110150	02/24/92	C.C.SHARROW CO., INC.	SUPPLIES-VEHICLE SUPPLIES-VEHICLE	172.68 103.65	276.33
16262	110281	02/24/92	CALIF. ASSOC. OF HOSPITALS	PROGRAM - SUPPLIES	10.00	10.00
16263	110425	02/24/92	CAPITOL SUPPLY CO.	SUPPLIES-EQUIPMENT	84.67	84.67
16264	110470	02/24/92	CARLE, JEANETTE	VEHICLE ALLOWANCE	22.88	22.88
16265	120325	02/24/92	CELLULAR ONE	TELEPHONE TELEPHONE TELEPHONE	24.09 78.38 50.33	152.80
16266	120450	02/24/92	CENTER FOR EXERCISE & HEALTH	FEES FOR SERVICE FEES FOR SERVICE FEES FOR SERVICE FEES FOR SERVICE FEES FOR SERVICE FEES FOR SERVICE FEES FOR SERVICE	54.00 54.00 54.00 178.90 108.00 54.00 54.00	556.90
16267	130800	02/24/92	CHICAGO NORTHWESTERN	FEES FOR SERVICE	180.00	180.00
16268	131100	02/24/92	CHIPPEWA SPRINGS	FEES FOR SERVICE	103.00	103.00
16269	140205	02/24/92	CLEAN STEP RUGS	FEES FOR SERVICE	26.45	26.45
16270	150175	02/24/92	COLLINS ELECTRICAL CONST.	REPAIR & MAINT/EQUIPMENT	385.92	385.92
16271	151350	02/24/92	COMPUADD CORPORATION	EQUIP-PURCHASED	1,974.95	1,974.95
16272	152100	02/24/92	CONTINENTAL SAFETY EQUIPMENT	SUPPLIES-EQUIPMENT	128.74	128.74
16273	152400	02/24/92	COPY EQUIPMENT, INC.	SUPPLIES EQUIPMENT	136.50	136.50
16274	170150	02/24/92	CURTIS 1000	SUPPLIES-OFFICE	676.01	676.01
16275	180800	02/24/92	DALCO	SUPPLIES JANITORIAL	111.36	111.36
16276	180900	02/24/92	DALEY, PAT	FEES FOR SERVICE	1,622.00	1,622.00
16277	181200	02/24/92	DANNER INC.	CONTRACTS PAYABLE	12,026.75	12,026.75
16278	181900	02/24/92	DAYTON'S BLUFF SHEET METAL, IN	SUPPLIES - EQUIPMENT	25.00	25.00

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16279	200800	02/24/92	DIR. OF PROPERTY TAXATION	FEES FOR SERVICE	10.00	10.00
16280	230650	02/24/92	EAST METRO CHAMBER OF COMMERCE	TRAVEL TRAINING	9.00	
				TRAVEL TRAINING	18.00	27.00
16281	230675	02/24/92	EAST SIDE CARQUEST	SUPPLIES-VEHICLE	157.12	
				SUPPLIES-VEHICLE	13.59	170.71
16282	230900	02/24/92	EASTMAN KODAK COMPANY	DUPLICATING COSTS	15.37	
				DUPLICATING COSTS	17.13	
				DUPLICATING COSTS	42.99	
				DUPLICATING COSTS	29.35	
				DUPLICATING COSTS	10.39	
				DUPLICATING COSTS	46.64	
				DUPLICATING COSTS	34.60	
				DUPLICATING COSTS	28.93	
				DUPLICATING COSTS	32.26	
				DUPLICATING COSTS	80.96	
				DUPLICATING COSTS	55.28	
				DUPLICATING COSTS	19.57	
				DUPLICATING COSTS	87.84	
				DUPLICATING COSTS	35.16	
				DUPLICATING COSTS	76.26	
				DUPLICATING COSTS	85.04	
				DUPLICATING COSTS	213.37	
				DUPLICATING COST	145.70	
				DUPLICATING COST	51.59	
				DUPLICATING COST	231.51	
				DUPLICATING COST	171.73	1,541.67
16283	231650	02/24/92	EGGHEAD DISCOUNT SOFTWARE	SUPPLIES-EQUIPMENT	59.99	59.99
16284	250090	02/24/92	ENR	SUBSCRIPTIONS & MEMBERSHIPS	92.00	92.00
16285	250120	02/24/92	ENTRE COMPUTER CENTER	EQUIP-OTHER	2,855.00	2,855.00
16286	261200	02/24/92	FIRST TRUST	PAYING AGENT FEES	305.00	
				PAYING AGENT FEES	699.00	1,504.00
16287	270327	02/24/92	FLGYD TOTAL SECURITY	EQUIP-OTHER	1,763.00	1,763.00
16288	280440	02/24/92	FORTMEYER & LANG PRINTERS	PROGRAM SUPPLIES	120.00	120.00
16289	300500	02/24/92	G & K SERVICES	UNIFORMS & CLOTHING	185.17	
				UNIFORMS & CLOTHING	75.00	
				UNIFORMS & CLOTHING	62.09	
				UNIFORMS & CLOTHING	17.51	
				UNIFORMS & CLOTHING	142.00	
				UNIFORMS & CLOTHING	224.36	713.01
16290	301450	02/24/92	GEISSLER, WALTER M.	SUBS & MEMBERSHIPS	20.00	20.00

VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
16291	302100	02/24/92	GENUINE PARIS COMPANY	SUPPLIES - VEHICLE	119.62	119.62
16292	302900	02/24/92	GLENWOOD INGLEWOOD	FEES FOR SERVICE	47.25	47.25
16293	302925	02/24/92	GLIDDEN COMPANY	SUPPLIES-JANITORIAL SUPPLIES-JANITORIAL REPAIR & MAINT/BLDG & GROUNDS SUPPLIES-JANITORIAL	14.95 62.50 72.57 24.11	174.13
16294	310280	02/24/92	GOODIN CO.	MAINTENANCE MATERIAL	244.44	244.44
16295	310300	02/24/92	GOODYEAR TIRE COMPANY	REPAIR & MAINT/VEHICLE	64.90	64.90
16296	310400	02/24/92	GOODYEAR TIRE COMPANY	RPR & MAINT/VEHICLE	123.56	123.56
16297	310710	02/24/92	GOPHER STATE ONE-CALL, INC.	FEES FOR SERVICE	46.04	46.04
16298	310850	02/24/92	GOVERNMENT TRAINING SERVICE	FEES-CONSULTING	2,170.00	2,170.00
16299	340110	02/24/92	HEJNY RENTALS, INC	OUTSIDE RENTAL	14.25	14.25
16300	341700	02/24/92	HERBERT, MICHAEL J.	TRAVEL & TRAINING	37.74	37.74
16301	400950	02/24/92	JEAN THORNE TEMPORARY SERVICE	FEES FOR SERVICE FEES FOR SERVICE	230.40 153.60	384.00
16302	401500	02/24/92	JOHN D SELLS & ASSOCIATES, INC	RPR & MAINT/EQUIP	75.00	75.00
16303	402110	02/24/92	JOYNES, BILL	FEES FOR SERVICE	2,905.00	2,905.00
16304	410420	02/24/92	KELLER ELECTRIC INC.	REPAIR MAINT BLDG. BUILDING IMPROVEMENT BUILDING IMPROVEMENT	181.19 320.00 320.00	821.19
16305	410441	02/24/92	KELLY TEMPORARY SERVICES	FEES FOR SERVICE FEES FOR SERVICE	550.90 550.90	1,101.80
16306	410500	02/24/92	JOHN T KENNA CO.	LEGAL & FISCAL LEGAL & FISCAL	146.25 292.50	438.75
16307	430301	02/24/92	ENGWLAN'S	PROGRAM SUPPLIES	23.18	23.18
16308	430800	02/24/92	KUKESH ATHLETIC	PROGRAM SUPPLIES PROGRAM SUPPLIES	20.95 84.85	105.80
16309	450800	02/24/92	LAKELAND FORD	VEHICLES	30,705.00	30,705.00
16310	450825	02/24/92	LAKELAND TRUCK CENTER	EQUIPMENT-OTLER	380.00	380.00
16311	470700	02/24/92	LILLIE SUBURBAN NEWSPAPERS	FEES FOR SERVICE PUBLISHING	28.80 251.23	280.03

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16312	490100	02/24/92	LORETTA LUEPESMIER	PROGRAM REGISTRATION FEES	40.00	40.00
16313	500025	02/24/92	M-R SIGN COMPANY	SIGNS & SIGNALS	1,542.40	1,542.40
16314	500525	02/24/92	M.P.E.L.R.A.	SUBSCRIPTIONS & MEMBERSHIPS	125.00	125.00
16315	500650	02/24/92	M:R:P:A.	TRAVEL & TRAINING	33.34	
				TRAVEL & TRAINING	16.66	
				TRAVEL & TRAINING	10.00	60.00
16316	501225	02/24/92	MAC QUEEN EQUIPMENT	SUPPLIES-VEHICLE	145.00	145.00
16317	501505	02/24/92	MAGLICH, GRETCHEEN B.	VEHICLE ALLOWANCE	5.72	
				TRAVEL & TRAINING	96.00	
				VEHICLE ALLOWANCE	31.72	
				PROGRAM SUPPLIES	2.17	
				TRAVEL & TRAINING	29.73	165.36
16318	511600	02/24/92	MASYS CORP	REPAIRS & MTNCE./EQUIPMENT	1,265.00	
				REPAIRS & MTNCE./EQUIPMENT	2,667.00	
				TRAVEL & TRAINING	75.00	4,007.00
16319	511750	02/24/92	MAUTZ PAINT COMPANY	SUPPLIES-JANITORIAL	29.10	
				SUPPLIES-JANITORIAL	99.14	128.24
16320	530500	02/24/92	MENARDS	SMALL TOOLS	33.98	
				MAINT MATERIAL	11.54	45.52
16321	530650	02/24/92	METAL DOCTOR	SUPPLIES VEHICLE	72.00	72.00
16322	530701	02/24/92	MAMA-LMC LABOR RELATIONS SERV	SUBSCRIPTIONS & MEMBERSHIPS	4,284.00	4,284.00
16323	531400	02/24/92	METRO SALES INC.	SUPPLIES- OFFICE	99.35	99.35
16324	540050	02/24/92	MICRO MANAGEMENT SYSTEMS INC.	FELS FOR SERVICE	297.10	297.10
16325	542275	02/24/92	MINNESOTA MINING	COMM DEV-MISCELLANEOUS	300.00	300.00
16326	550600	02/24/92	MN DEPUTY REGISTRAR ASSOC.	SUBSCRIPTIONS & MEMBERSHIPS	280.00	280.00
16327	551800	02/24/92	MN SAFETY COUNCIL	ACCLNTS PAYABLE	240.00	240.00
16328	570010	02/24/92	R.E. MOONEY & ASSOCIATES	MAINT MATERIAL	1,052.67	1,052.67
16329	570050	02/24/92	MOBILE EMERGENCY SYSTEMS, INC.	REPAIR MAINT VEHILCE	1,038.00	
				REPAIR & MAINT/VEHICLE	92.50	
				REPAIR & MAINT/VEHICLE	236.00	1,366.50
16330	570500	02/24/92	MODUROLA, INC	EQUIPMENT-OTHER	1,903.56	1,903.56
16331	630020	02/24/92	NAI ARCHITECTS	FEES CONSULTING	1,200.00	1,200.00

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16332	690200	02/24/92	NADEAU, EDWARD	VEHICLE ALLOWANCE	34.32	34.32
16333	640550	02/24/92	NELSON, JEAN	VEHICLE ALLOWANCE	21.66	21.66
16334	660905	02/24/92	NORTH STAR WIPER & INDUSTRIAL	SUPPLIES-JANITORIAL	194.75	194.75
16335	680600	02/24/92	UCTOPUS CAR WASH	REPAIR & MAINT/VEHICLE	7.50	
				REPAIR & MAINT/VEHICLE	187.50	
				REPAIR & MAINT/VEHICLE	75.00	
				REPAIR & MAINT/VEHICLE	15.00	
				REPAIR & MAINT/VEHICLE	15.00	
				REPAIR & MAINT/VEHICLE	7.50	
				REPAIR & MAINT/VEHICLE	7.50	315.00
16336	690300	02/24/92	OLSEN CHAIN & CABLE CO, INC.	MAINTENANCE MATERIALS	1,757.97	1,757.97
16337	692500	02/24/92	OWENS SERVICE	CHEMICALS	136.63	136.63
16338	700460	02/24/92	P.C. EXPRESS/P.C. TRONICS	SUPPLIES-EQUIPMENT	31.95	31.95
16339	700675	02/24/92	PAKDY, GENE	FEES FOR SERVICE	25,639.60	25,639.60
16340	711325	02/24/92	PETERSON, BARRY	PROGRAM SUPPLIES	160.00	160.00
16341	711345	02/24/92	PETERSON, BELL, CONVERSE & JENSEN	FEES FOR SERVICE	116.20	
				FEES FOR SERVICE	5,000.00	
				FEES FOR SERVICE	400.00	5,516.20
16342	711500	02/24/92	PHOTOS TO GO	FEES FOR SERVICE	7.75	7.75
16343	712100	02/24/92	PITNEY BOWES INC.	REPAIR & MAINT/EQUIPMENT	225.00	
				REPAIR & MAINT/EQUIPMENT	1,185.00	
				REPAIR & MAINT/EQUIPMENT	993.00	
				REPAIR & MAINT/EQUIPMENT	226.00	2,629.00
16344	720760	02/24/92	PRECISION BUSINESS SYSTEMS	SUPPLIES OFFICE	139.26	139.26
16345	720768	02/24/92	PREMIER BANK	FEES FOR SERVICE	42.00	42.00
16346	721350	02/24/92	PROGRESSIVE CONTRACTOR, INC.	AWARDED CONSTRUCTION CONTRACTS	51,560.01	
				CONTRACTS PAYABLE-RETAINAGE	2,578.00	48,982.01
16347	740370	02/24/92	R.J. SAYERS DISTRIBUTING	SUPPLIES-VEHICLE	79.00	79.00
16348	742100	02/24/92	RAM CTY CHIEFS OF POLICE ASSN.	TRAVEL & TRAINING	250.00	250.00
16349	742110	02/24/92	RAMSEY EMERG. MEDICAL SERVICES	ACCOUNTS PAYABLE	845.50	845.50
16350	742725	02/24/92	RAPTOR REHABILITATION	FEES FOR SERVICE	18.00	18.00
16351	743100	02/24/92	RAZSKAZOFF, DALE	TRAVEL & TRAINING	38.25	38.25

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VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
16352	751380	02/24/92	RISKE CARROLL MULLER ASSOC.	ACCOUNTS PAYABLE	7,763.15	7,763.15
16353	751450	02/24/92	RITZ CAMERA	SUPPLIES EQUIPMENT	114.63	114.63
16354	751885	02/24/92	RIVERWOOD CONFERENCE CENTER	TRAVEL & TRAINING	2,050.82	2,050.82
16355	761200	02/24/92	ROAD RESCUE	SUPPLIES-EQUIP	8.25	8.25
16356	762075	02/24/92	RUTH ROSENGREN	PROGRAM REGISTRATION FEES	36.00	36.00
16357	780740	02/24/92	SAVOIE SUPPLY COMPANY, INC.	SUPPLIES-JANITORIAL	12.32	12.32
16358	800075	02/24/92	SEARS	SMALL TOOLS SUPPLIES-EQUIPMENT SMALL TOOLS	145.35 25.44 58.46	229.25
16359	820129	02/24/92	SIGNS BY NORTHLAND	SUPPLIES-OFFICE	85.00	85.00
16360	820225	02/24/92	SIMPLEX TIME RECORDER CO	FEES FOR SERVICE	88.00	88.00
16361	820602	02/24/92	SNAP-ON TOOLS	EQUIPMENT - PURCHASED	5,975.00	5,975.00
16362	831600	02/24/92	SPS OFFICE PRODUCTS	SUPPLIES-OFFICE SUPPLIES-OFFICE EQUIPMENT OFFICE SUPPLIES-OFFICE SPS OFFICE PRODUCTS EQUIP-OFFICE SUPPLIES OFFICE SUPPLIES OFFICE EQUIPMENT-OFFICE SUPPLIES-OFFICE SUPPLIES-OFFICE SUPPLIES -OFFICE SUPPLIES-OFFICE SUPPLIES-OFFICE	35.24 84.00 306.79 48.70 1,424.04 205.80 32.30 31.99 190.92 46.11 2.88 90.21 28.54 30.91	2,558.73
16363	840295	02/24/92	ST PAUL BAR & REST	SUPPLIES-JANITORIAL SUPPLIES-OFFICE	13.40 84.12	97.52
16364	840400	02/24/92	ST.PAUL CITY OF	DUE TO OTHER GOVERNMENT UNITS	9,643.30	9,643.30
16365	842100	02/24/92	STANDARD SPRING & ALIGNMENT	REPAIR & MAINT./VEHICLE	520.71	520.71
16366	843537	02/24/92	STRATUS COMPUTER, INC.	REPAIRS & MYNCE./EQUIPMENT	1,482.00	1,482.00
16367	843575	02/24/92	STREICHENS GUNS	SUPPLIES-RANGE SUPPLIES-RANGE	295.50 98.10	394.00
16368	851550	02/24/92	SYSTEMS SERVICE COMPANY	SUPPLIES-OFFICE SUPPLIES-OFFICE	38.40 51.97	

VOUCHER/ CHECK NUMBER	VENDOR NUMBER	CHECK DATE	VENDOR NAME	ITEM DESCRIPTION	ITEM AMOUNT	CHECK AMOUNT
				REPAIR & MAINT/UTILITY	95.00	185.37
16369	860650	02/24/92	TARGET STORES-CPC, A/R	SUPPLIES EQUIPMENT	37.98	
				FUEL OIL	118.80	
				SUPPLIES JANITORIAL	108.05	
				SUPPLIES-EQUIPMENT	26.99	
				SUPPLIES-OFFICE	95.03	386.85
16370	860809	02/24/92	TECHNIFLOW CORPORATION	OTHER CONSTRUCTION COSTS	496.98	496.98
16371	871800	02/24/92	TOWER ASPHALT	MAINTENANCE MATERIAL	179.74	
				MAINT MATERIAL	41.20	
				MAINT MATERIAL	188.65	
				MAINTENANCE MATERIAL	200.83	
				MAINTENANCE MATERIAL	893.47	1,503.89
16372	880105	02/24/92	TRADE TOOLS INC.	MAINTENANCE MATERIAL	157.47	157.47
16373	881600	02/24/92	TWIN CITY HARDWARE CO.	SMALL TOOLS	195.01	195.01
16374	882500	02/24/92	TWIN CITY TESTING	OUTSIDE ENGINEERING FEES	500.00	500.00
16375	882800	02/24/92	TWIN CITY TRANSPORT	FEES FOR SERVICE	20.00	
				FEES FOR SERVICE	20.00	40.00
16376	890280	02/24/92	US SALT INCORPORATED	MAINT MATERIAL	8,505.00	8,505.00
16377	900100	02/24/92	UNIFORMS UNLIMITED	UNIFORMS	89.90	
				UNIFORMS	334.40	
				UNIFORMS	206.64	
				UNIFORMS & CLOTHING	165.37	
				UNIFORMS & CLOTHING	74.61	
				UNIFORMS& CLOTHING	300.42	1,171.34
16378	900170	02/24/92	UNITED ELECTRIC COMPANY	SMALL TOOLS	15.96	
				SUPPLIES - EQUIPMENT	13.49	29.45
16379	900600	02/24/92	UNIVERSAL MEDICAL	SUPPLIES-EQUIPMENT	45.00	45.00
16380	930500	02/24/92	W.W. GRAINGER	SUPPLIES-EQUIPMENT	29.61	29.61
16381	970700	02/24/92	YOCUM OIL CO.	INVENTORY OF SUPPLIES	5,640.00	5,640.00
				TOTAL CHECKS		537,582.41

CITY OF MAPLEWOOD
 EMPLOYEE GROSS EARNINGS AND PAYROLL DEDUCTION CHECKS
 FOR THE CURRENT PAY PERIOD

0001

CHECK NUMBER	CHECK DATED	PAYEE	AMOUNT
0025234	02/14/92	JOSEPH ZAPPA	267.63
0025235	02/14/92	DALE CARLSON	267.63
0025236	02/14/92	GEORGE ROSSBACH	267.63
0025237	02/14/92	GARY W BASTIAN	304.15
0025238	02/14/92	FRANCES L JUKER	267.63
0025239	02/14/92	MICHAEL A McGUIRE	3,448.94
0025240	02/14/92	THERESE CARLSON	1,071.20
0025241	02/14/92	GAIL BLACKSTONE	2,138.88
0025242	02/14/92	GRETCHEN MAGLICH	1,716.12
0025243	02/14/92	GINA CASAREZ	801.31
0025244	02/14/92	DAVID J JAHN	1,088.04
0025245	02/14/92	LYLE SWANSON	1,295.11
0025246	02/14/92	LARRY J CUDE	323.72
0025247	02/14/92	ANDREA J OSTER	1,160.50
0025248	02/14/92	WILLIAM MIKISKA	202.43
0025249	02/14/92	DANIEL F FAUST	2,488.78
0025250	02/14/92	LINDA ZICK	467.70
0025251	02/14/92	DEBORAH DEHN	585.15
0025252	02/14/92	RICHARD HANGSLEBEN	1,478.74
0025253	02/14/92	ALANA K MATHEYS	1,611.62
0025254	02/14/92	MARGARET GIBBS	302.16
0025255	02/14/92	DELORES A VIGNALD	1,245.31
0025256	02/14/92	BRUCE ANDERSON	1,116.74
0025257	02/14/92	CAROLE J ANDERSON	1,350.11
0025258	02/14/92	LUCILLE E AURELIUS	2,015.22
0025259	02/14/92	CHERYL FLOOD	380.00
0025260	02/14/92	PATRICIA FRY	567.45

CITY OF MAPLEWOOD
 EMPLOYEE GROSS EARNINGS AND PAYROLL DEDUCTION CHECKS
 FOR THE CURRENT PAY PERIOD

0002

CHECK NUMBER	CHECK DATED	PAYEE	AMOUNT
0025261	02/14/92	LOIS BEHM	1,299.06
0025262	02/14/92	CONNIE L KELSEY	773.15
0025263	02/14/92	LORRAINE S VIETOR	1,116.50
0025264	02/14/92	PATRICIA A HENSLEY	657.90
0025265	02/14/92	CAROL JAGOE	947.99
0025266	02/14/92	JEANETTE E CARLE	1,088.76
0025267	02/14/92	SANDRA OLSON	778.21
0025268	02/14/92	MARY KAY PALANK	943.70
0025269	02/14/92	KENNETH V COLLINS	2,477.46
0025270	02/14/92	CAROLE L RICHIE	1,331.97
0025271	02/14/92	JOANNE M SVENDSEN	1,447.22
0025272	02/14/92	ELAINE FULLER	522.65
0025273	02/14/92	CAROL F MARTINSON	1,267.02
0025274	02/14/92	ANTHONY G CAHANES	2,136.41
0025275	02/14/92	ROBERT D NELSON	2,136.41
0025276	02/14/92	VERNON T STILL	1,522.99
0025277	02/14/92	DONALD W SKALMAN	1,809.21
0025278	02/14/92	RAYMOND J MORELLI	1,546.87
0025279	02/14/92	SCOTT L STEFFEN	1,889.88
0025280	02/14/92	JOHN J BANICK	1,841.96
0025281	02/14/92	JOHN C BOHL	1,755.24
0025282	02/14/92	DALE K CLAUSON	1,546.87
0025283	02/14/92	RICHARD M MOESCHTER	1,606.03
0025284	02/14/92	JOHN H ATCHISON	1,546.87
0025285	02/14/92	JAMES YOUNGREN	1,882.06
0025286	02/14/92	WILLIAM F PELTIER	1,622.37
0025287	02/14/92	KEVIN RABBETT	892.50

CITY OF MAPLEWOOD
 EMPLOYEE GROSS EARNINGS AND PAYROLL DEDUCTION CHECKS
 FOR THE CURRENT PAY PERIOD

0003

CHECK NUMBER	CHECK DATED	PAYEE	AMOUNT
0025288	02/14/92	THOMAS J SZCZEPANSKI	1,511.61
0025289	02/14/92	VIRGINIA DOWDLE	944.44
0025290	02/14/92	CABOT V WELCHLIN	1,487.77
0025291	02/14/92	RICHARD J LANG	1,546.87
0025292	02/14/92	DALE RAZSKAZOFF	1,603.11
0025293	02/14/92	MICHAEL RYAN	1,871.49
0025294	02/14/92	MICHAEL J HERBERT	1,603.11
0025295	02/14/92	RICHARD C DREGER	1,622.37
0025296	02/14/92	GREGORY L STAFNE	1,776.21
0025297	02/14/92	RONALD D BECKER	1,603.12
0025298	02/14/92	KEVIN R HALWEG	2,016.60
0025299	02/14/92	DERRELL T STOCKTON	1,600.63
0025300	02/14/92	PAUL G PAULOS JR.	1,661.58
0025301	02/14/92	RICK A BOWMAN	1,641.52
0025302	02/14/92	FLINT D KARIS	1,716.88
0025303	02/14/92	STEPHEN J HEINZ	1,569.21
0025304	02/14/92	JOHN FRASER	1,508.35
0025305	02/14/92	DAVID M GRAF	1,617.74
0025306	02/14/92	DAVID J THOMALLA	2,329.59
0025307	02/14/92	STEVEN PALMA	1,721.77
0025308	02/14/92	ROBERT E VORWERK	1,617.74
0025309	02/14/92	JOSEPH A BERBERON	1,998.83
0025310	02/14/92	JAMES MEEHAN	1,738.81
0025311	02/14/92	JON A MELANDER	1,617.74
0025312	02/14/92	SARAH SAUNDERS	1,281.11
0025313	02/14/92	JAMES M EMBERTSON	1,820.07
0025314	02/14/92	DUANE J WILLIAMS	1,449.17

CITY OF MAPLEWOOD
 EMPLOYEE GROSS EARNINGS AND PAYROLL DEDUCTION CHECKS
 FOR THE CURRENT PAY PERIOD

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CHECK NUMBER	CHECK DATED	PAYEE	AMOUNT
0025315	02/14/92	JANET L RABINE	1,404.92
0025316	02/14/92	JULIE A STAHNKE	1,160.50
0025317	02/14/92	SCOTT K BOYER	1,160.50
0025318	02/14/92	CAROL NELSON	1,734.02
0025319	02/14/92	JOSEPH FEHR	1,215.36
0025320	02/14/92	GWENDOLYN SELL	907.70
0025321	02/14/92	JILL PETERS	1,018.16
0025322	02/14/92	JAYME L FLAUGHER	1,226.90
0025323	02/14/92	JUDITH WEGWERTH	649.18
0025324	02/14/92	KENNETH G HAIDER	2,477.45
0025325	02/14/92	JUDY M CHLEBECK	1,226.90
0025326	02/14/92	WILLIAM PRIEFER	1,351.65
0025327	02/14/92	GERALD W MEYER	1,520.24
0025328	02/14/92	MICHAEL R KANE	1,704.96
0025329	02/14/92	BRYAN NAGEL	1,411.39
0025330	02/14/92	DAVID P LUTZ	1,435.54
0025331	02/14/92	HENRY F KLAUSING	1,492.35
0025332	02/14/92	JOHN SCHMOOCK	1,409.36
0025333	02/14/92	RENALD J HELEY	1,469.69
0025334	02/14/92	ERICK D OSWALD	1,409.36
0025335	02/14/92	RONALD L FREBERG	1,490.81
0025336	02/14/92	WILLIAM C CASS	1,998.42
0025337	02/14/92	RANDAL LINDBLOM	1,218.90
0025338	02/14/92	JAMES G ELIAS	1,474.91
0025339	02/14/92	JOHN DU CHARME	1,099.70
0025340	02/14/92	DENNIS L PECK	1,474.90
0025341	02/14/92	WILLIAM PRIEBE	1,422.10

CITY OF MAPLEWOOD
 EMPLOYEE GROSS EARNINGS AND PAYROLL DEDUCTION CHECKS
 FOR THE CURRENT PAY PERIOD

0005

CHECK NUMBER	CHECK DATED	PAYEE	AMOUNT
0025342	02/14/92	BRUCE A IRISH	2,077.14
0025343	02/14/92	WALTER M GEISSLER	1,556.31
0025344	02/14/92	THERESA METZ	1,218.90
0025345	02/14/92	JOHN R LOFBREN	1,138.09
0025346	02/14/92	ROBERT D ODEGARD	2,230.47
0025347	02/14/92	LOIS J BRENNER	1,204.50
0025348	02/14/92	BARBARA A KRUMMEL	672.20
0025349	02/14/92	PAULINE STAPLES	1,962.58
0025350	02/14/92	MARGARET KUNDE	123.75
0025351	02/14/92	ROBERT S ANDERSON	1,297.62
0025352	02/14/92	DENNIS P LINDORFF	758.03
0025353	02/14/92	WILLIAM GARRY	1,165.30
0025354	02/14/92	ROLAND B HELEY	1,245.30
0025355	02/14/92	MARK A MARUSKA	1,803.21
0025356	02/14/92	JAMES SCHINDELDECKER	1,165.30
0025357	02/14/92	MYLES R BURKE	1,267.70
0025358	02/14/92	TODD JAGOE	40.00
0025359	02/14/92	RICHARD E STARK	117.00
0025360	02/14/92	N. MARGARET HART	100.00
0025361	02/14/92	BENJAMIN MAJOR	225.00
0025362	02/14/92	TANIA CHASE	175.00
0025363	02/14/92	ANDREA HANNEGAN	57.50
0025364	02/14/92	SHANNON MILLER	145.25
0025365	02/14/92	GREGORY KOLBECK	75.00
0025366	02/14/92	RYAN STEVENSON	314.15
0025367	02/14/92	JAKE SCHUMANN	105.00
0025368	02/14/92	SCOTT WALLACE	185.00

CITY OF MAPLEWOOD
 EMPLOYEE GROSS EARNINGS AND PAYROLL DEDUCTION CHECKS
 FOR THE CURRENT PAY PERIOD

0006

CHECK NUMBER	CHECK DATED	PAYEE	AMOUNT
0025359	02/14/92	SHEREE MESROBIAN	85.00
0025370	02/14/92	RONALD BESETH	75.00
0025371	02/14/92	STEVE BERGER	60.00
0025372	02/14/92	ROY G WARD	457.42
0025373	02/14/92	DOUGLAS J TAUBMAN	1,610.90
0025374	02/14/92	JANET M GREW HAYMAN	623.60
0025375	02/14/92	JEAN NELSON	541.73
0025376	02/14/92	JUDITH A HORSNELL	654.25
0025377	02/14/92	ANN E HUTCHINSON	1,303.70
0025378	02/14/92	RITA MACY	26.81
0025379	02/14/92	KATHLEEN M DOHERTY	1,345.35
0025380	02/14/92	MARIE BARTA	1,128.98
0025381	02/14/92	GEOFFREY W OLSON	2,230.47
0025382	02/14/92	NANCY MISKELL	433.06
0025383	02/14/92	JOYCE L LIVINGSTON	645.42
0025384	02/14/92	TROY LANGER	128.00
0025385	02/14/92	KENNETH ROBERTS	1,333.73
0025386	02/14/92	THOMAS G EKSTRAND	1,614.25
0025387	02/14/92	MARJORIE OSTROM	1,832.18
0025388	02/14/92	NICHOLAS N CARVER	1,430.10
0025389	02/14/92	ROBERT J WENGER	1,448.50
0025390	02/14/92	EDWARD A NADEAU	1,312.54
0025391	02/14/92	GEORGE W MULWEE	1,242.91
0025392	02/14/92	LAVERNE S NUTESON	1,804.00
0025393	02/14/92	ROGER W BREHEIM	1,242.90
0025394	02/14/92	DAVID B EDSON	1,266.10
0025395	02/14/92	DAVID GERMAIN	1,288.47

CITY OF MAPLEWOOD
 EMPLOYEE GROSS EARNINGS AND PAYROLL DEDUCTION CHECKS
 FOR THE CURRENT PAY PERIOD

0007

CHECK NUMBER	CHECK DATED	PAYEE	AMOUNT
0025396	02/14/92	DENNIS M MULVANEY	1,362.90
0025397	02/14/92	GEORGE C SPREIGL	1,248.50
0025398	02/14/92	ELIZABETH J WEILAND	1,122.79
0025399 VOID	02/14/92	MAPLEWOOD STATE BANK #1	22,957.98
0025400 VOID	02/14/92	MN STATE COMM OF REVENUE	9,260.27
0025401 VOID	02/14/92	FIRST MINNESOTA (FICA)	9,536.46
0025402 VOID	02/14/92	PUBLIC EMP RETIREMENT ASSOC	5,148.98
0025403 ✓	02/14/92	ICMA RETIREMENT TRUST-457	10,529.39
0025404 VOID	02/14/92	FIRST MINNESOTA	218.75
0025405 VOID	02/14/92	CITY OF MAPLEWOOD (HCMA)	3,352.92
0025406 ✓	02/14/92	CITY & COUNTY EMP CR UNION	24,957.00
0025407 VOID	02/14/92	UNITED WAY OF ST. PAUL AREA	115.00
0025408 VOID	02/14/92	COMMERCIAL LIFE INSURANCE	185.20
0025409 ✓	02/14/92	MN STATE RETIREMENT SYSTEM	301.00
0025410 VOID	02/14/92	PUBLIC EMP. RETIREMENT ASSOC.	154.50
0025411 ✓	02/14/92	AFSCME 2725	623.06
0025412 ✓	02/14/92	METRO SUPERVISORY ASSOC	20.00
0025413 ✓	02/14/92	MN. MUTUAL LIFE INS. 19-3988	273.00
0025414 VOID	02/14/92	DEA	28.17
0025415 VOID	02/14/92	PUBLIC EMP RETIREMENT ASSOC	437.14
0025416 VOID	02/14/92	PUBLIC EMP RETIREMENT ASSOC	5,684.30
0025417 ✓	02/14/92	L.E.L.S.	700.00
0025418 ✓	02/14/92	L.E.L.S.	175.00
0025419 ✓	02/14/92	RAMSEY CO SUPPORT & COLLECT	400.00
0025420 VOID	02/14/92	MEDICA CHOICE	76.76
0025421 VOID	02/14/92	WK CMP	866.20
0025422 VOID	02/14/92	VACATION CHECK	520.37

MEMORANDUM

TO: City Manager
FROM: Director of Community Development
SUBJECT: Planning Commission's Annual Report
DATE: February 14, 1992

Action by Council:
Endorsed
Modified
Rejected
Date

INTRODUCTION

City Code requires that the Planning Commission prepare an annual report to the City Council by their second meeting in February. This report should include the Commission's activities in the past year and major projects for the new year.

1991 ACTIVITIES

The Commission considered the following:

- 12 changes to the land use plan
1 planned unit development
10 changes to the zoning map
5 preliminary plats
8 Code changes
12 conditional use permits
3 home occupations
7 vacations of right-of-ways or easements
2 variances
11 miscellaneous requests

The Commission has also been revising the update to the Comprehensive Plan and studying the section of City Code about planned unit developments. The Commission reviewed the Comprehensive Plan update at 6 meetings and discussed planned unit developments at 9 meetings.

1991 LAND USE PLAN CHANGES

The Commission considered 12 changes to the land use plan in 1991.

Table with 3 columns: Changes, PC Action, Council Action. Rows include Ariel St., north of 11th Ave.; East of the BN Corridor, between Larpenteur and Ripley; 1060-1070 Lakewood Drive; West of Highway 61, North of Highway 36.

600 Carlton Street (3M Training Center)	Approved	Approved
Lakewood Dr. & Maryland Ave.	Tabled	Approved
Maryland Ave. & McKnight Rd.	No Change	No Action
South of Minnehaha Avenue	Approved	Approved
White Bear Ave. & Co. Rd. B	Tabled	No Action
Beebe Road, north of Larpenteur (Autumnwood Villas)	Denied	Denied
2702 Stillwater Rd. (Knowlans)	Approved	Approved
Cottages of Maplewood West	Denied	Approved

1991 ZONING MAP CHANGES

The Commission considered 10 changes to the zoning map in 1991.

<u>Changes</u>	<u>PC Action</u>	<u>Council Action</u>
Ariel St., north of 11th Ave.	No Action	Tabled
West of Highway 61, north of Highway 36	Approved	Approved
600 Carlton Street (3M Training Center)	Approved	Approved
Highwood Meadows Plat	Approved	Approved
South of Minnehaha Avenue	Approved	Approved
North of Maryland Avenue, between McKnight Road and Lakewood Drive	No Change	No Action
Gall Avenue and County Road D	Approved	Approved
2080 McMenemy Street (Wegleitners)	Approved	Denied
2702 Stillwater Road (Knowlans)	Approved	Approved
1919 White Bear Avenue (Czech)	Approved	Approved

1991 ATTENDANCE

<u>Name</u>	<u>Appointed</u>	<u>Term Expires</u>	<u>1991 Attendance</u>
Roger Anitzberger	4-24-90	1-93	17 out of 20
Lorraine Fischer	1970	1-93	20 out of 20
Marvin Sigmundik	3-14-83	1-93	11 out of 20
Lester Axdahl	8-08-74	1-93	20 out of 20
William Rossbach	10-10-89	1-94	17 out of 20
Gary Pearson	12-10-90	1-94	16 out of 20
Vacancy		1-94	
Mary Martin	2-25-91	1-95	16 out of 16
Gary Gerke	10-10-89	1-95	19 out of 20
Brian Sinn	4-24-90	1-95	15 out of 20
Jack Frost	12-10-90	1-95	20 out of 20

MEMBERS WHO RESIGNED IN 1991

Robert Cardinal 2-11-85

1992 ACTIVITIES

1. To complete the update of the Comprehensive Plan.
2. To continue the study of planned unit developments.
3. Have a goal setting session and workshop or training sessions. The first of the workshop sessions would be about the traffic situation around Maplewood Mall.
4. Have a tour of development sites in the City.
5. Encourage greater citizen and public awareness of the Comprehensive Plan (especially the Land Use Plan.)
6. Promote a positive image of Maplewood.

kr\memo91.mem (6.1)

6. UNFINISHED BUSINESS

a. Planning Commission's Annual Report

The Commission reviewed and corrected the 1992 Activities portion of the annual report as follows:

1. To complete the update of the Comprehensive Plan.
2. To continue to work on the study of planned unit developments.
3. Have goal setting sessions and workshop or training sessions. The first of the workshop sessions would be about the traffic situation around Maplewood Mall.
4. Have a City tour of development sites.
5. Greater public awareness of the Comprehensive Plan, including the Land Use Plan.
6. Work toward promoting a greater positive image.

Commissioner Martin moved to request the City Manager investigate putting the various board and commission agendas on cable television.

Commissioner Fischer seconded

Ayes--Anitzberger, Axdahl,
Fischer, Frost, Gerke, Martin,
Pearson, Rossbach, Sigmundik,
Sinn

The motion passed.

Commissioner Fischer moved approval of the Planning Commission's annual report, as amended.

Commissioner Martin seconded

Ayes--Anitzberger, Axdahl,
Fischer, Frost, Gerke, Martin,
Pearson, Rossbach, Sigmundik,
Sinn

The motion passed.

b. Comprehensive Plan Update

Commissioner Fischer asked staff to make a correction on Table 11 on page 60 of the Housing Plan.

Commissioner Fischer requested that staff create a chart of the maximum population of each neighborhood. The Commission agreed and requested staff seek this information for the Commission.

Action by Council:

Endorsed _____
Modified _____
Rejected _____
Date _____

VOLUNTEERS OF AMERICA WEEK
March 1-8, 1992

WHEREAS, the Volunteers of America, a Christian social service organization and one of the nation's largest human services agencies, is celebrating its 96th year of service to the people of Minnesota and the nation; it is therefore certainly appropriate for us to join in the observance of this milestone with the commemoration of March 1-8, 1992, as Volunteers of America Week; and

WHEREAS, volunteers have enriched the life of our community through their compassionate, yet practical crusades, and have extended spiritual fellowship where most urgently needed; and

WHEREAS, volunteerism has fostered the development of partnerships between the public and private sectors of the City of Maplewood to face community challenges; and

WHEREAS, volunteers are a vital resource and have transformed lives for those who give as well as for those who receive within the City of Maplewood; and

WHEREAS, the state of Minnesota and our nation are recognizing volunteers for their contributions through the Minnesota Volunteer Recognition Week and the National Volunteer Week of April 26-May 2, 1992; and

WHEREAS, the City of Maplewood is proud of the efforts of our volunteers, and believes that their selfless giving has made our world a better place in which to live;

NOW, THEREFORE, BE IT RESOLVED, that I, Gary W. Bastian, Mayor of the City of Maplewood, do hereby proclaim the week of March 1-8, 1992, as

VOLUNTEERS OF AMERICA WEEK

in Maplewood.

AND, BE IT RESOLVED, that copies of this proclamation be transmitted to the Volunteers of America as evidence of our esteem.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Great Seal of the City of Maplewood to be affixed this 24th day of February in the year of our Lord one thousand nine hundred and ninety-two.

MAYOR

A G E N D A R E P O R T

Action by Council:

TO: City Manager
FROM: Human Resource Director *Gail Blackstone*
RE: 1992 PAY RATES FOR TEMPORARY AND PART-TIME EMPLOYEES
(NON-UNION)
DATE: February 12, 1992

Endorsed _____
Modified _____
Rejected _____
Date _____

PROPOSAL

It is proposed that the attached resolution be adopted to provide for the 1992 revision of the pay rates for non-union temporary and part-time employees. The objective is to have the pay rates for all temporary and part-time employees set at one time in one resolution.

BACKGROUND

Past policy has set the minimum pay rate for each position to be the amount specified under minimum wage law. It is proposed that this policy be continued. The current minimum wage rate is \$4.25 per hour.

It is proposed that the maximum pay rates for each position be increased by 2-1/2% and a minimum of \$.20 per hour effective February 24, 1992, with the following exceptions. For the Secretary, Administrative Assistant, Accounting Clerk, and Clerk-Typist positions, the maximum is equivalent to the starting pay rate for a full-time permanent employee.

RECOMMENDATION

Adoption of the attached resolution is recommended.

tmc

Attachment

RESOLUTION

WHEREAS, according to the Minnesota Public Employees Labor Relations Act, part-time employees who do not work more than 14 hours per week and temporary employees who do not work in excess of 67 days in a calendar year are not covered by union contract wage rates.

NOW, THEREFORE, BE IT RESOLVED, that the following pay rate maximums are hereby established for temporary and part-time employees effective February 24, 1992.

Recreation Worker	\$12.02	per hour
Recreation Official	18.07	per game
Puppeteers	30.10	per show
Accountant	15.14	per hour
Administrative Assistant	13.28	per hour
Secretary	11.00	per hour
Accounting Clerk	11.38	per hour
Clerk-Typist	10.18	per hour
Election Judge	5.95	per hour
Election Precinct Chair	6.20	per hour
Laborer	6.45	per hour
Engineering Aide	7.06	per hour
Janitor	5.40	per hour

BE IT FURTHER RESOLVED, that the minimum pay rates for each of the above be (1) the amount specified by Federal and/or State law for those positions covered and (2) \$2.75 per hour for those positions not covered by Federal or State law.

BE IT FURTHER RESOLVED, that the City Manager shall have the authority to set the pay rate within the above ranges.

MEMORANDUM

TO: City Manager
 FROM: Thomas Ekstrand, Associate Planner
 SUBJECT: Conditional Use Permit Review
 LOCATION: Kennard Street, North of Beam Avenue
 APPLICANT: Korridor Capital Investments, Inc.
 PROJECT: Mineral Extraction
 DATE: February 17, 1992

Action by Council:
 Endorsed _____
 Modified _____
 Rejected _____
 Date _____

INTRODUCTION

The applicant is requesting renewal of a conditional use permit (CUP) west of Kennard Street for a mining operation. Mr. Frank Frattalone, the excavator for this project, said he has finished mining this site but must still do the final grading.

BACKGROUND

November 13, 1989: Council approved the CUP, subject to several conditions. Condition 11 required that all graded areas be planted with ground cover sufficient to hold the soil. Condition 13 required that the final grading be completed within 90 days of final excavation.

November 15, 1990: Council renewed the CUP for one year, subject to the original conditions.

CODE REQUIREMENT

Code requires that the City Council review each CUP after the first year. After the first review, Council may specify an indefinite term or a specific term, not to exceed five years, for subsequent reviews.

DISCUSSION

Mr. Frattalone could not complete the final grading within 90 days of final excavation, as required by the permit, because of the Halloween snow storm. Mr. Frattalone said he can complete the final grading in about two weeks this spring, once the snow is gone.

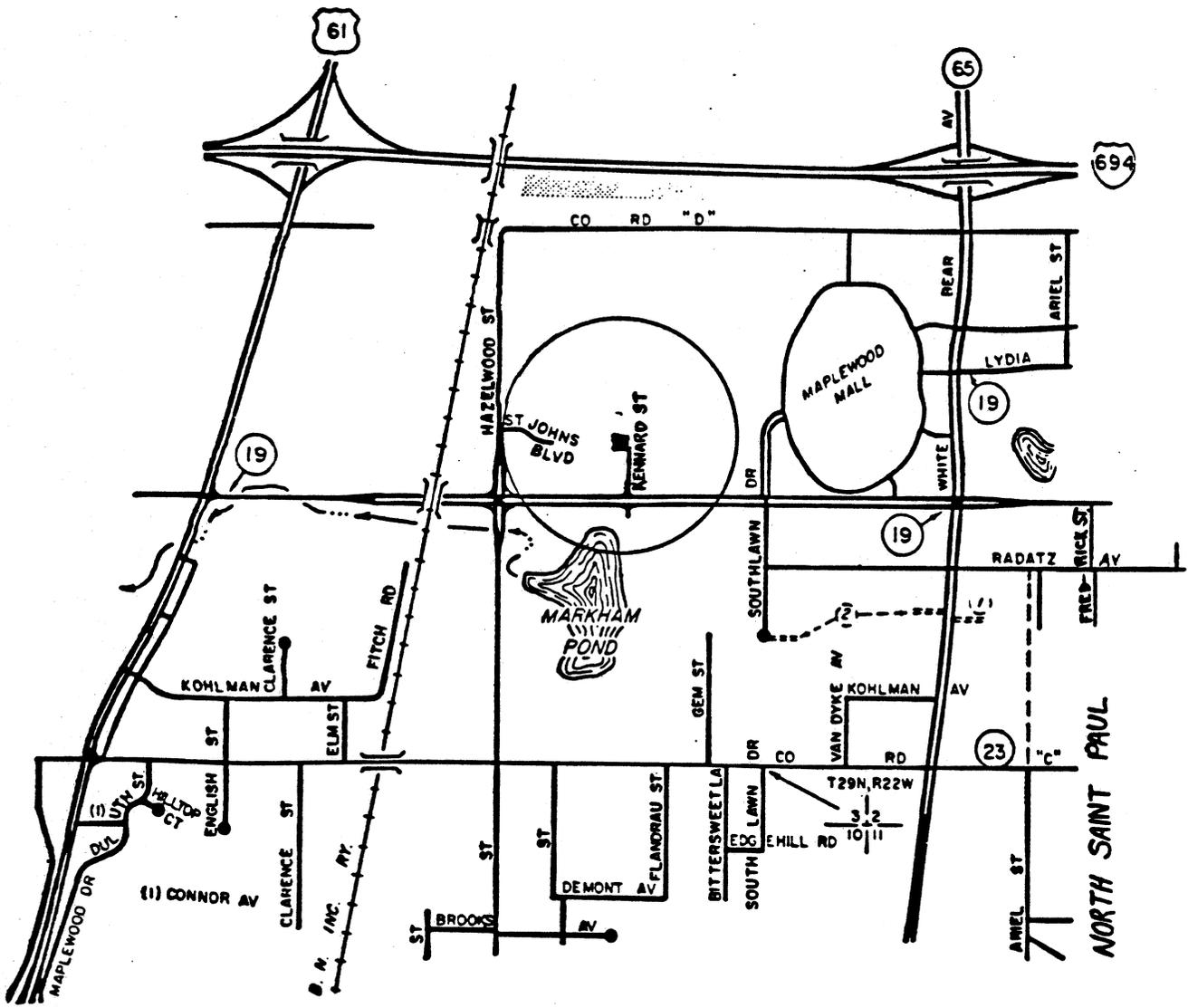
RECOMMENDATION

Review this permit again on May 11, 1992 to consider ending it.

te\mining.mem (3)

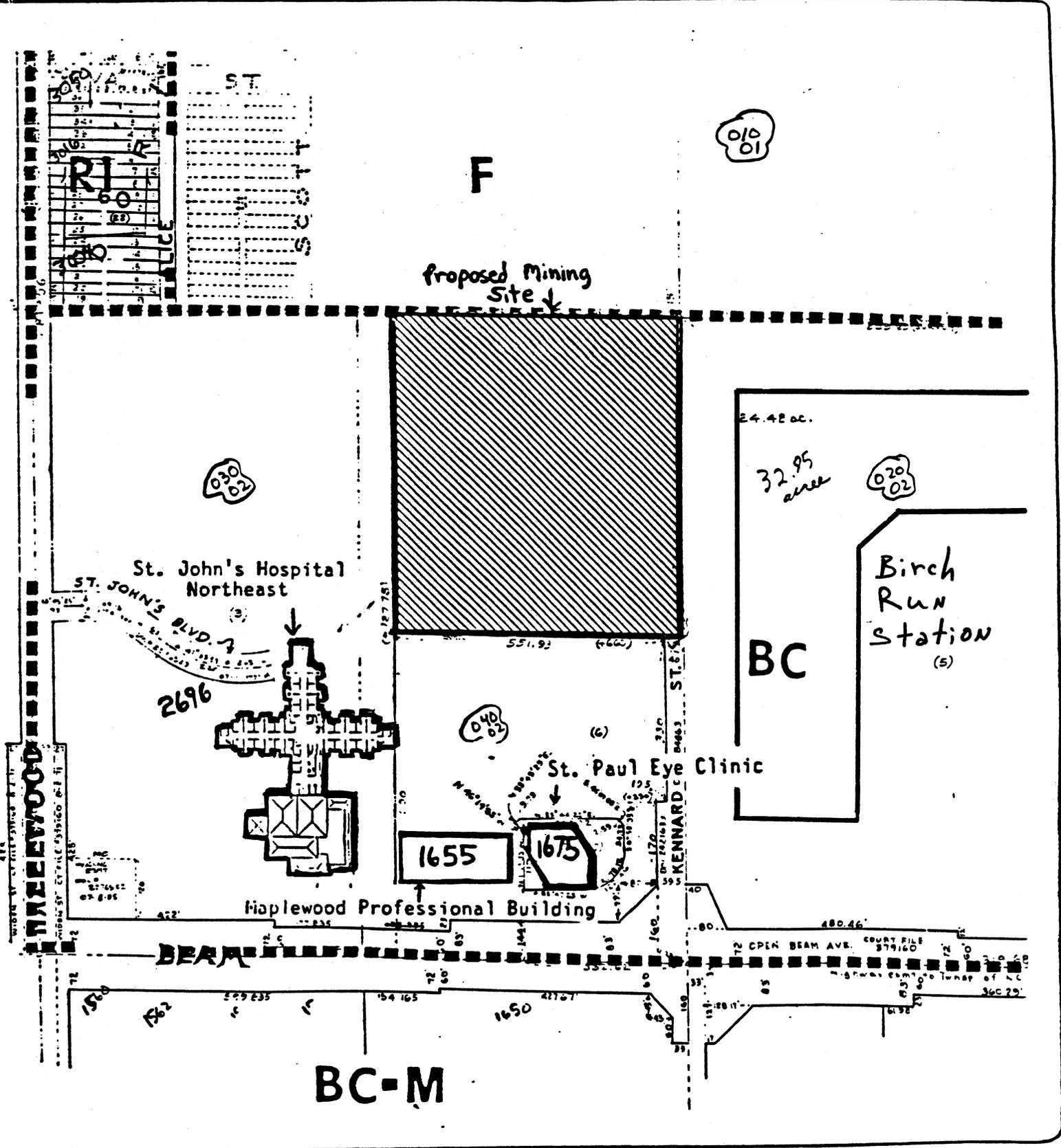
Attachments

- 1. Location Map
- 2. Property Line/Zoning Map



LOCATION MAP





PROPERTY LINE / ZONING MAP



N

AGENDA REPORT

TO: City Manager
FROM: Public Works Administrative Assistant 
SUBJECT: Acquisition of Tax-Forfeited Land
DATE: February 13, 1992

Action by Council:
Endorsed _____
Modified _____
Rejected _____
Date _____

Introduction

The Ramsey County Department of Taxation has notified the City of Maplewood that certain parcels of land within the city are available for acquisition due to forfeiture to the State of Minnesota for nonpayment of taxes.

Background

It is in the interest of the City of Maplewood to acquire the following parcels via use deed for the following purposes:

Ponding and Drainage:

Farrell's Addition, Lot 5, Block 2: PIN 36-29-22-11-0011-2, and
Minty Acres' subject to easements Lot 4 and Lot 5, Block 1: PIN 36-29-22-12-0001-2

Roadway Right-of-Way:

Section 4, Township 29, Range 22 except the E 160 feet of the S 224 96/100 feet of the N 834 96/100 feet of the E 9 acres of the NW 1/4 of NE 1/4 of Section 4, Township 29, Range 22: PIN 04-29-22-12-0007-9

Recommendation

It is recommended that the three attached resolutions be adopted.

WJP

jw
Attachments

RESOLUTION

WHEREAS, the parcel described as Farrell's Addition, Lot 5, Block 2: PIN 36-29-22-11-0011-2 is necessary for storm-water ponding purposes, and;

WHEREAS, acquisition of the above-referenced parcel would be consistent with the city's drainage plan, and;

WHEREAS, said parcel is listed as tax forfeit.

NOW, THEREFORE, BE IT RESOLVED that the proper city officials be and hereby are authorized to make an application for acquisition via use deed of said tax-forfeited land; and

BE IT FURTHER RESOLVED that the city clerk be and hereby is authorized to file a certified copy of this resolution and application for acquisition via use deed of said tax-forfeited land in the office of the land commissioner.

RESOLUTION

WHEREAS, the parcel described as Minty Acres' subject to easements Lot 4 and Lot 5, Block 1: PIN 36-29-22-12-0001-2 is necessary for storm-water ponding purposes, and;

WHEREAS, acquisition of the above-referenced parcel would be consistent with the city's drainage plan, and;

WHEREAS, said parcel is listed as tax forfeit.

NOW, THEREFORE, BE IT RESOLVED that the proper city officials be and hereby are authorized to make an application for acquisition via use deed of said tax-forfeited land; and

BE IT FURTHER RESOLVED that the city clerk be and hereby is authorized to file a certified copy of this resolution and application for acquisition via use deed of said tax-forfeited land in the office of the land commissioner.

RESOLUTION

WHEREAS, the parcel described as Section 4, Township 29, Range 22 except the E 160 feet of the S 224 96/100 feet of the N 834 96/100 feet of the E 9 acres of the NW 1/4 of the NE 1/4 of Section 4, Township 29, Range 22: PIN 04-29-22-12-0007-9 is necessary for roadway right-of-way purposes, and;

WHEREAS, said parcel is listed as tax forfeit.

NOW, THEREFORE, BE IT RESOLVED that the proper city officials be and hereby are authorized to make an application for acquisition via use deed of said tax-forfeited land; and

BE IT FURTHER RESOLVED that the city clerk be and hereby is authorized to file a certified copy of this resolutions nd application for acquisition via use deed of said tax-forfeited land in the office of the land commissioner.

APPLICATION BY GOVERNMENTAL SUBDIVISION FOR CONVEYANCE OF TAX-FORFEITED LANDS

Under Minnesota Statutes, Section 282.01, Subdivision 1.

In the Matter of the Application of City of Maplewood

a Governmental Subdivision, for a Conveyance of Certain Lands.

Comes now City of Maplewood (Name of subdivision)

and alleges:

1. That applicant is a (a) Local Governmental Subdivision in the State of Minnesota

2. That (b)

3. That there is situated in the County of Ramsey, certain tax-forfeited land described as follows: (c)

Farrell's Addition Lot 5 Blk 2

PIN 36-29-22-11-0011-2

4. That said lands are (d) Vacant and unimproved

5. That applicant desires to obtain said land for the following purposes and reasons: (e) Ponding and Drainage

Wherefore applicant prays that said lands be conveyed to it for the use stated herein.

City of Maplewood

By Its Mayor

and Its Manager

STATE OF MINNESOTA) COUNTY OF Ramsey) ss. Gary Bastian and Michael A. McGuire,

each being first duly sworn, depose and say, each for himself, that they are respectively the Mayor and Manager of the City of Maplewood; that they have read the foregoing application and know the contents thereof; and that the matters stated therein are true.

Gary Bastian, Mayor

Michael A. McGuire, Manager Subscribed and sworn to before me this day of , 19

Notary Public, County, Minn. My Commission Expires

- (a) State facts relative to legal organization. (b) State facts showing authorization of acquisition of land hereinafter described, by resolution of governing body or by voters, as the case may require, attaching copies of resolutions, if any. (c) Show name of Governmental Subdivision in which land is situated. (d) Describe nature of lands, use of surrounding property and other similar facts. (e) Give statement as to the specific use to be made of such lands.

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Under Minnesota Statutes, Section 282.01, Subdivision 1.

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City of Maplewood
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1. That applicant is a (a) Local Governmental Subdivision in the State of Minnesota

2. That (b)

3. That there is situated in the County of Ramsey, certain tax-forfeited land described as follows: (c)

Minty Acres' subject to easements Lot 4 and Lot 5, Block 1
PIN 36-29-22-12-0001-2

4. That said lands are (d) Vacant and unimproved

5. That applicant desires to obtain said land for the following purposes and reasons: (e)
Ponding and Drainage

Wherefore applicant prays that said lands be conveyed to it for the use stated herein.

City of Maplewood
By Its Mayor
and Its Manager

STATE OF MINNESOTA)
) ss.
COUNTY OF Ramsey)

Gary Bastian and Michael A. McGuire
each being first duly sworn, depose and say, each for himself, that they are respectively the Mayor
and Manager of the City of Maplewood;
that they have read the foregoing application and know the contents thereof; and that the matters stated therein are true.

Gary Bastian, Mayor
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Subscribed and sworn to before me this
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Notary Public, County, Minn.
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City of Maplewood
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1. That applicant is a (a) Local Governmental Subdivision in the State of Minnesota

2. That (b)

3. That there is situated in the County of Ramsey, certain tax-forfeited land described as follows: (c)

Section 4, Township 29, Range 22 except the E 160 feet of the S 224 96/100 feet of the N 834 96/100 feet of the E 9 acres of the NW 1/4 of NE 1/4 of Section 4, Township 29, Range 22: PIN 04-29-22-12-0007-9

4. That said lands are (d) Vacant and unimproved

5. That applicant desires to obtain said land for the following purposes and reasons: (e) Roadway Right of Way

Wherefore applicant prays that said lands be conveyed to it for the use stated herein.

City of Maplewood

By

Its Mayor

and

Its Manager

STATE OF MINNESOTA)

) ss.

COUNTY OF Ramsey)

Gary Bastian and Michael A. McGuire,

each being first duly sworn, depose and say, each for himself, that they are respectively the Mayor

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that they have read the foregoing application and know the contents thereof; and that the matters stated therein are true.

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Subscribed and sworn to before me this
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Notary Public, County, Minn.

My Commission Expires

- (a) State facts relative to legal organization.
(b) State facts showing authorization of acquisition of land hereinafter described, by resolution of governing body or by voters, as the case may require, attaching copies of resolutions, if any.
(c) Show name of Governmental Subdivision in which land is situated.
(d) Describe nature of lands, use of surrounding property and other similar facts.
(e) Give statement as to the specific use to be made of such lands.

Action by Council:

Endorsed _____
Modified _____
Rejected _____
Date _____

MEMORANDUM

TO: City Manager
FROM: Thomas Ekstrand, Associate Planner
SUBJECT: Code Change - Car Washes and Maintenance Garages
APPLICANT: Danco Development Corporation (John Anderson)
DATE: January 16, 1992

INTRODUCTION

Request

John Anderson, from Danco Development Corporation, is requesting that the City Council change the Code to allow a Jiffy Lube at 2829 White Bear Avenue. The Jiffy Lube would have two lube bays and one car wash bay.

Reason for the Request

Code does not allow public garages, such as Jiffy Lube, within 350 feet of areas planned or developed for residential use on the City's land use plan. The proposed Jiffy Lube site is next to a lot with a single dwelling.

BACKGROUND

September 11, 1989: Council made several changes to the section of the Code on motor fuel stations and public garages. One of the changes prohibited major motor fuel stations and public garages within 350 feet of areas planned for residential use on the City's land use plan. The Council made these changes after Amoco applied for changes to the City's land use plan and zoning map at White Bear and 11th Avenues. Amoco's changes would have allowed them to build a major gas station with a car wash next to a house.

DISCUSSION

The proposed ordinance would allow maintenance garages and car washes within 350 feet of residential areas if the Council approved a conditional use permit. The City would still prohibit major fuel stations.

The map on page 6 shows several undeveloped commercial areas within 350 feet of land planned for residential. These are potential new sites for maintenance garages that the City does not allow under the current ordinance.

We are recommending this ordinance because:

1. It is not fair to prohibit all garages, if some are acceptable. Maintenance garages have changed over the last ten years from general maintenance to specialized

maintenance businesses. The term public garage in the current ordinance covers everything from an oil change business to total car care. Specialized uses range from car washes to body shops. Some types of garages may be acceptable with certain conditions.

Not only are there many types of maintenance garages, but there are a variety of types of specific uses. A car wash is an example. It would fall under the current definition of public garage. The main concern with a car wash is noise, especially from the blowers. Some car washes have blowers and some do not. The noise level of the equipment varies and sound varies with whether you are in front of the garage door or on the side. The noise study on page 5 shows that even the noisiest car wash could be 210 feet from a residence and still meet the PCA's nighttime noise regulations. The FinaLube wash on Rice Street could be 90 feet from a residence. The City, however, requires 350 feet. This study also shows the variety of noise levels from different types of car washes.

2. Most suburban cities require a setback of only 40 feet from a garage or car wash to a residential lot line. (See the survey on page 4.) Maplewood requires at least 350 feet. Maplewood does require at least 50 feet between other types of commercial uses and residential uses.
3. Before adopting the current ordinance, the Council approved an auto service center at the corner of White Bear and Radatz Avenues.
4. The City allows other uses that create at least as much traffic or noise within 350 feet of residential areas. The BC (business commercial) district allows fast-food restaurants and new car lots as permitted uses. The BC district also allows used car lots and outdoor recreation, including go-cart tracks, as conditional uses.

Requiring a conditional use permit for garages and car washes would allow the City to judge each type of garage on a case-by-case basis. Some of these uses may be acceptable near residential areas, particularly if they were not next to a home. The Council could attach specific conditions to the permit to make sure the use would be compatible with the surrounding area.

RECOMMENDATION

Approve the ordinance on page 7.

go\memo39.mem (5.1)

Attachments

1. Survey - setbacks
2. Car Wash Noise Study
3. Lots within 350 feet of planned residential land
4. Ordinance

SURVEY

November 15, 1991

This survey asks how close will these cities allow an oil change garage, a car wash and a repair garage to a residential lot line.

<u>City</u>	<u>Oil Change Garage</u>	<u>Car Wash</u>	<u>Repair Garage</u>
Maplewood	350 feet	350 feet	350 feet
Maple Grove	300 feet	100 feet	100 feet
Blaine	100 feet	100 feet	100 feet
Cottage Grove	75 feet	75 feet	75 feet
Inver Grove Heights	75 feet	75 feet	75 feet
White Bear Lake	50 feet	50 feet	50 feet
Shoreview	50 feet	50 feet	50 feet
Woodbury	50 feet	50 feet	50 feet
North St. Paul	50 feet	50 feet	50 feet
Oakdale	50 feet	50 feet	50 feet
Little Canada	40 feet	40 feet	40 feet
Apple Valley	30 feet	30 feet	30 feet
Fridley	30 feet	30 feet	30 feet
Lakeville	30 feet	30 feet	30 feet
New Brighton	25 feet	25 feet	25 feet
Roseville	25 feet	10 feet	10 feet
Eden Prairie	20 feet	20 feet	20 feet
Newport	20 feet	20 feet	20 feet
Richfield	15 feet	15 feet	15 feet
New Hope	10 feet	10 feet	10 feet
Crystal	5 feet	5 feet	5 feet

Median Setback	40 feet	40 feet	40 feet
----------------	---------	---------	---------

Brooklyn Center	These are not allowed next to residential
Golden Valley	Nothing specific - based on CUP approval
South St. Paul	Nothing specific - based on CUP approval
Vadnais Heights	Nothing specific - based on CUP approval

mb\misc\survey.car

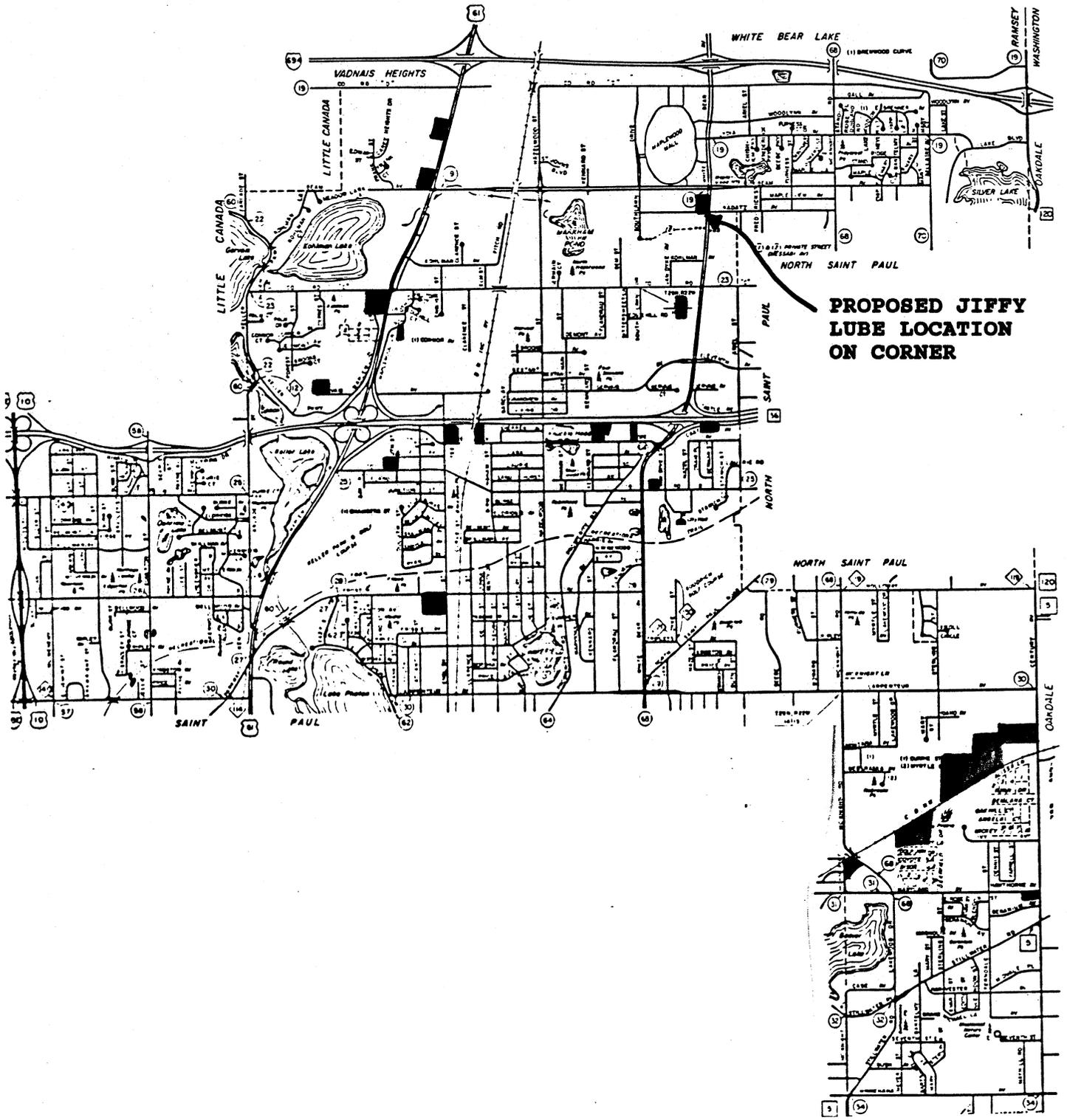
Attachment 1

CAR WASH NOISE STUDY

The following study of four car washes gives examples of the minimum setbacks needed to limit noise levels to acceptable levels. The Minnesota Pollution Control Agency (PCA) uses 50 - 55 decibels (Db) (a soft conversation level) for night noise levels. They use 60 - 65 Db for day noise levels. The FinaLube car wash at White Bear Avenue and Radatz Avenue would be 90 feet from the residential property line to the east.

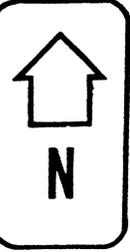
CAR WASH	SETBACK IN FEET
FinaMart (White Bear Ave. & Co. Rd. B) - No blower on	50-55 Db at 102 ft.
Hurricane (Co. Rd. D) - Blower on	
With door closed	50-55 Db at 100 ft.
With door open	50-55 Db at 210 ft.
With door open	60-65 Db at 160 ft.
Octopus (White Bear Ave. & Co. Rd. C) - blower on with door open	60-65 Db at 95 ft.
Boler Express (White Bear Ave., south of Larpenteur Ave.) - no blower, door open	50-55 Db at 85 ft.

We did spot noise checks of the above car washes. There is a similar FinaLube car wash to the one proposed at White Bear Avenue and Radatz Avenue on Rice Street. We did a 24-hour sound check, 90 feet from the car wash, and found that it met the PCA sound standards. The manager told us that they washed about 50 cars with the doors open during this test. They have no blower. A blower creates most of the noise from a car wash.



**PROPOSED JIFFY
LUBE LOCATION
ON CORNER**

COMMERCIAL LOTS WITHIN 350 FEET OF PLANNED RESIDENTIAL LAND



ORDINANCE NO. _____

AN ORDINANCE ABOUT MAINTENANCE GARAGES.

The Maplewood City Council approves the following ordinance: (I have underlined additions and crossed out deletions.)

Section 1. Section 36-6, definitions, is changed by adding definitions for car wash and residential lot line and revising the definition of "Public Garage" as follows:

Car wash: A building for washing motor vehicles. This definition does not include the occasional hand washing of vehicles stored in a parking garage.

Public Maintenance Garage: A place building for the maintenance or repair of motor vehicles. This definition does not include a A motor vehicle accessory installation center or car wash. shall not be included.

Residential lot line: The lot line of any property with a residential building on it or that is planned for residential use on the city's land use plan.

Section 2. Subsections 36-151(b)(8) and (9) under conditional uses in the BC district are changed as follows:

- (8) ~~Car Wash.~~ Reserved.
- (9) Motor fuel stations, car washes or public maintenance garages, provided that in addition to the general conditions for a conditional use, the following additional conditions must be met.
 - a. The setback of any overhead canopy shall be at least fifteen (15) feet from the street right-of-way line and five (5) feet from a nonresidential property line.
 - b. The setbacks to a residential ~~zone~~ lot line in section ~~36-153(3)~~ 36-28(c)(6) shall include car washes, fuel dispensers or canopies.
 - c. Major motor fuel stations ~~or public garages~~ shall ~~not be at least permitted within~~ not be at least permitted within three hundred fifty (350) feet ~~of areas planned for residential use on the city's land use plan.~~ from a residential lot line.
 - d. No unlicensed or inoperable vehicles shall be stored on the premises for more than forty-eight (48) hours, except in storage areas fully screened

from public view.

- e. All trash, waste materials, and obsolete parts shall be stored within an enclosed trash container.
- f. All repair, assembly, disassembly and maintenance shall occur within a closed building, except for minor maintenance, such as tire replacement or inflation, adding oil or wiper fluid replacement.
- g. The location and type of outdoor storage must be specifically approved in the conditional use permit.
- h. No parking space(s) shall be located within the line of vision between self-service fuel dispensers and the attendant's window.
- i. Noise from operations, including external ~~External~~ speakers, shall not exceed the noise standards of the Minnesota Pollution Control Agency. be directed away from residential areas and the sound shall not exceed fifty (50) decibels (normal conversation level) at the residential property line.
- j. No motor fuel station or maintenance garage within three hundred fifty (350) feet of land ~~that is developed or designated on the city's land use plan for residential use~~ a residential lot line shall be operated between the hours of 11 p.m. and 6 a.m.
- k. Fuel station dispenser islands, parking areas, and drives shall be screened from residential lot lines ~~uses and areas planned for residential use~~ in conformance with section 36-27(c) and section 36-27(d).
- l. Parking shall be limited to paved areas.
- m. All new or replacement underground fuel storage tanks shall meet the standards of Minnesota Statutes and the standards of the Minnesota Pollution Control Agency. Such tanks shall also have a UL listing appropriate for their use. In addition, installation plans shall be submitted to the State Fire Marshal's office for approval.
- n. Leak detection shall be required for all new tanks and for existing tanks according to U.S. Environ-

mental Protection Agency (EPA) schedule deadlines. Leak detection facilities shall include electronic (in tank) monitoring equipment as well as manual daily measurement and recording of tank levels. Records of daily tank levels, fuel purchases and fuel sales shall always be available on site for inspection by the Fire Marshal ~~at all times.~~

- o. Vents from an underground fuel storage tank(s) shall be two hundred (200) feet from a residential lot line. ~~the property line of a residential use or a property planned for residential use on the city's land use plan.~~ The city council may approve a lesser setback if the developer can prove that the typography or existing or proposed buildings will prevent fumes from reaching a residential lot line.
- p. Car washes ~~accessory to a fuel station~~ shall be subject to the same conditions as stated for motor fuel stations, with the following additional conditions:
 - 1. The site shall be planned so that water from the car wash will not drain into a public street or access. A drainage system shall be installed, subject to the approval of the city engineer.
 - 2. Stacking space shall be designed to accommodate a minimum of four (4) vehicles.

Section 3. This ordinance shall take effect upon its passage.

Approved by the Maplewood City Council on _____, 1992.

MINUTES OF THE MAPLEWOOD PLANNING COMMISSION
1830 EAST COUNTY ROAD B, MAPLEWOOD, MINNESOTA
JANUARY 21, 1992

1. CALL TO ORDER

Chairperson Axdahl called the meeting to order at 7 p.m.

2. ROLL CALL

Commissioner Roger Anitzberger	Present
Commissioner Lester Axdahl	Present
Commissioner Lorraine Fischer	Present
Commissioner Jack Frost	Present
Commissioner Gary Gerke	Present
Commissioner Mary Martin	Present
Commissioner Gary Pearson	Present
Commissioner William Rossbach	Present
Commissioner Marvin Sigmundik	Absent
Commissioner Brian Sinn	Absent

3. APPROVAL OF MINUTES

Commissioner Fischer moved approval of the minutes of January 6, 1992, as submitted.

Commissioner Martin seconded Ayes--Anitzberger,
Axdahl, Fischer, Frost,
Gerke, Martin, Pearson,
Rossbach

The motion passed.

4. APPROVAL OF AGENDA

Commissioner Fischer moved approval of the agenda as submitted.

Commissioner Rossbach seconded Ayes--Anitzberger, Axdahl,
Fischer, Frost, Gerke, Martin,
Pearson, Rossbach

The motion passed.

5. NEW BUSINESS

a. Code Change: Car Washes and Maintenance Garages

Ken Roberts, Associate Planner, presented the staff report. Mr. Roberts explained the proposed changes in the setback requirements of this ordinance.

John Anderson, representing Danco Development Corporation, explained his request to change the code to allow a Jiffy Lube at 2829 White Bear Avenue.

Commissioner Fischer moved the Planning Commission recommend approval of the ordinance concerning maintenance garages.

Commissioner Frost seconded Ayes--Axdahl, Fischer, Frost
Nays--Anitzberger, Gerke,
Martin, Pearson, Rossbach

The motion failed.

Commissioner Rossbach moved the Planning Commission recommend denial of the code change in sections 36-6 and 36-151 (b) (8) and (9) as documented in the staff report of January 16, 1992.

Commissioner Martin seconded Ayes--Anitzberger, Gerke,
Martin, Pearson, Rossbach

Ayes--Axdahl, Fischer, Frost

The motion passed.

Commissioner Rossbach said he voted to deny because he wanted to keep intense development, which generates considerable traffic and has the potential for generating noise, away from residential districts.

b. ~~Planning Commission Elections~~

~~Commissioner Rossbach moved the Planning Commission re-elect Les Axdahl as chairperson.~~

~~Commissioner Martin seconded Ayes--Anitzberger,
Axdahl, Fischer, Frost,
Gerke, Martin, Pearson,
Rossbach~~

~~The motion passed.~~

~~Commissioner Pearson moved the Planning Commission re-elect Lorraine Fischer as vice chairperson.~~

~~Commissioner Frost seconded Ayes--Anitzberger,
Axdahl, Fischer, Frost,
Gerke, Martin, Pearson,
Rossbach~~

~~The motion passed.~~

c. Annual Report

The Commission directed staff to add under "1991 Activities" the number of meetings at which the Commission spent time discussing the Comprehensive Plan, add the workshops which some members of the Commission attended to discuss special projects, and add the zoning map changes with the land use plan changes.

MEMORANDUM

Action by Council:

TO: City Manager
FROM: Thomas Ekstrand, Associate Planner
SUBJECT: Setback Approval and House Moving
LOCATION: 2375 Minnehaha Avenue
APPLICANT: Marty Vietoris
DATE: February 17, 1992

Endorsed _____
Modified _____
Rejected _____
Date _____

INTRODUCTION

Mr. Vietoris is asking for approval to set a house back 105 feet from Minnehaha Avenue. The house would line up with an existing garage on the lot. There used to be a house on this lot with this setback. City Code requires City approval for a front yard setback of more than 35 feet. (See the maps on pages 5-8.)

Mr. Vietoris is also asking for approval to move a one-story, 24-by 44-foot single dwelling onto this lot. This house has white, horizontal, lap masonite siding and a hip roof. Refer to the applicant's letter on pages 10-12 and the photos on page 9. This house is in Lake Elmo on a construction company storage yard at the northwest corner of Manning Avenue (Highway 15) and 10th Street (Minnehaha Avenue).

CODE REQUIREMENTS

1. Section 9-61 of the City Code states that no person may move a house onto a lot without the City Council approving it.
2. Section 36-70 of City Code requires that each dwelling shall have a front yard setback of at least 30 feet, but not more than 35 feet. Except that, if the majority of the dwellings on the same side of the same street and within 350 feet of the lot to be built on have a predominant front yard setback, then all dwellings or additions on that lot shall conform to that predominant setback. The Director of Community Development may allow a different setback if it would not adversely affect the drainage of surrounding properties and if any of five conditions apply. One of these conditions is that the proposed setback is necessary for health or safety reasons.

There is no clear predominant setback, but all the homes within 350 feet are closer to Minnehaha Avenue than the proposed house would be.

Criteria For Approval

Section 9-64 requires the following findings to approve a building relocation request:

1. The proposed building is compatible with those in the neighborhood it would be moved to. A determination of

compatibility may be based on comparing the structure's exterior siding, height, mass, age and style of construction to the average home in the neighborhood to which the house is to be moved and the health, safety and welfare of the community.

2. That all City Code requirements can be met.
3. That water runoff from the site will not cause an adverse effect on surrounding properties.
4. Public streets can be protected from damage.

DISCUSSION

Front Yard Setback

The Council should approve the proposed setback, regardless of whether they approve the house moving. Someone would also need this approval to build a new house on this lot. Moving a house closer to the street than the existing garage would encroach into the low area in the front yard. (See the map on page 7.) This area collects storm water. The City Engineer stated that filling all or part of this area may cause drainage problems for the house to the west. Mr. Vietoris also said that he would have to remove two trees to move the house closer to the street.

One alternative to the proposed front yard setback would be for the Council to order a storm water project for this area. The City's storm water plan shows a pipe under Minnehaha Avenue to 3M Pond. There are no plans yet to construct this project. It would allow Mr. Vietoris to fill the front yard and move the house closer to the street.

House Moving

The design of this house is compatible with the other homes in the area.

Placing the house as proposed should not add to the drainage problem since it is replacing a previous dwelling. The applicant, however, should submit a drainage plan to assure that the placement of this house will not cause an adverse effect on surrounding properties.

Mr. Vietoris would like the Council to exempt him from the requirement for a letter of credit or cash to guarantee completion of the construction required by code. The Code allows the Council to require this, but it is at the discretion of the Council. The Council did require this with the last three homes they approved, which were on Larpenteur Avenue and McKnight Road.

RECOMMENDATION

- A. Approve the front setback proposed by Mr. Vietoris to allow him to place the house in line with the existing garage. Approval is because a lesser setback may cause drainage problems for the house to the west and there was an existing house on this location.
- B. Approve the moving of the one-story rambler-style house on the lot at 2375 Minnehaha Avenue as shown in the February 14, 1992 staff report. The City bases its approval on the findings required by Code, subject to the applicant doing the following:
1. Give the City an irrevocable letter of credit or cash for 1-1/2 times the estimated cost of completing the construction required by code.
 2. Give the City a signed agreement to convey title. This agreement shall give the City the right to take possession of the house and property if the required work is not completed within 90 days after the City issues the moving permit. This agreement would allow the City the right to complete the construction required by Code or demolish and remove the structure. The City Attorney shall draft this agreement.
 3. Build a driveway turnaround.
 4. Put house numbers on the house as Code requires.
 5. Submit a drainage plan to the City Engineer before getting a building or moving permit. This plan must show that the storm water run-off from this site will not cause an adverse effect on surrounding properties.

CITIZENS' COMMENTS

Staff surveyed the 31 property owners within 350 feet of the site. There were 11 replies. Five were in favor, five had no comment and one was opposed.

In Favor

1. The other one burned was an eyesore. Anyway this one looks much better. (Mason, 2344 Bush Avenue)
2. I feel the property should be raised to equal height of neighbors on the south side of structure. For 21 years I've watched ponds form in the front yard, the original structure had no basement, I feel that the basement would be wet at all times. (See the map on page 13.) (Kelcher, 747 Meyer Street)
3. It would improve the current lot. (Fee owner, 1775 Selby Avenue)

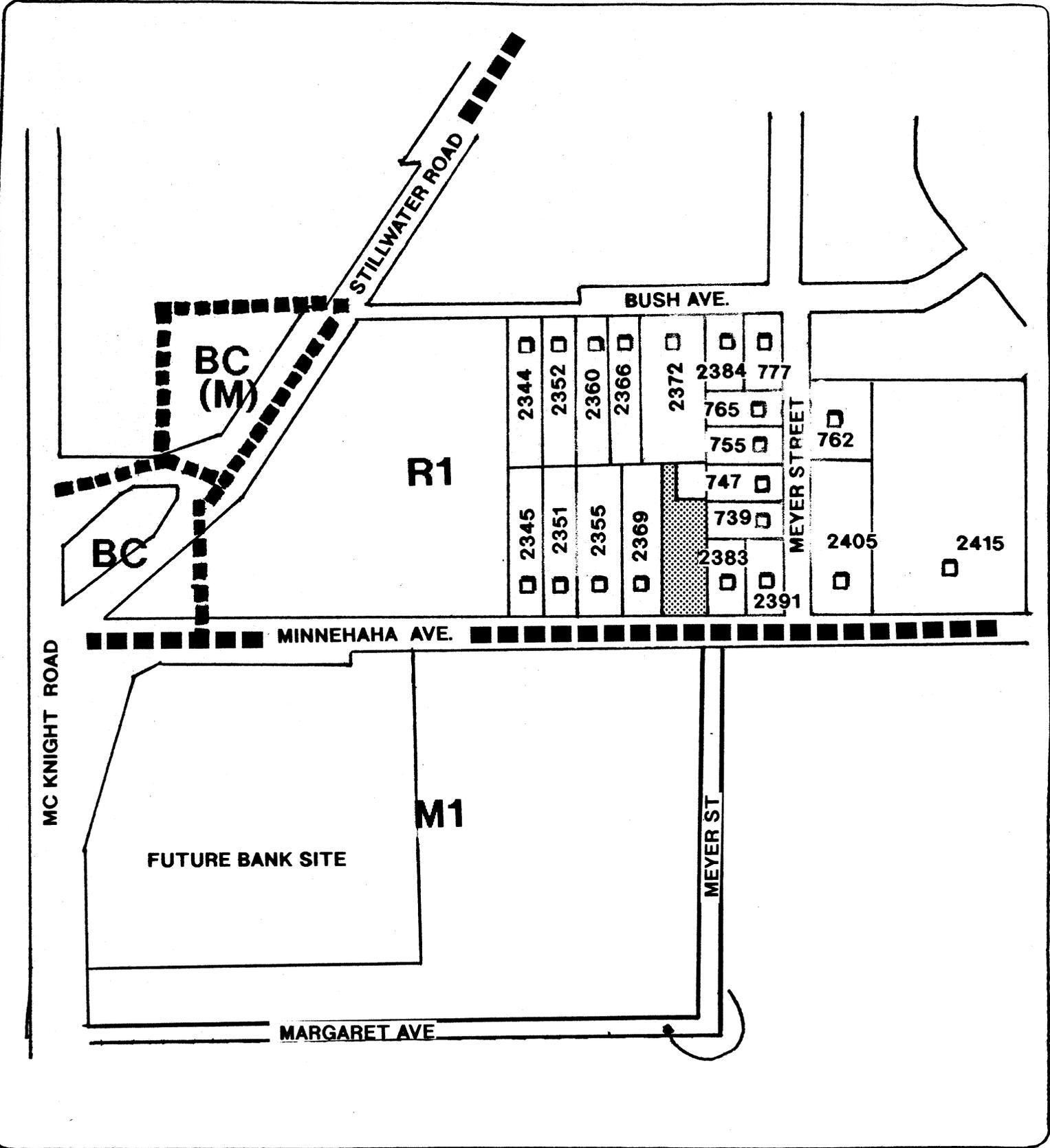
Opposed

Refer to the letter on page 14 from Robert Rubbelke, 2369 Minnehaha. Mr. Rubbelke is also concerned about the drainage on this lot.

te\vietoris.mem (36)

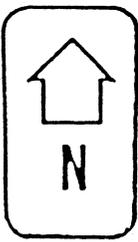
Attachments

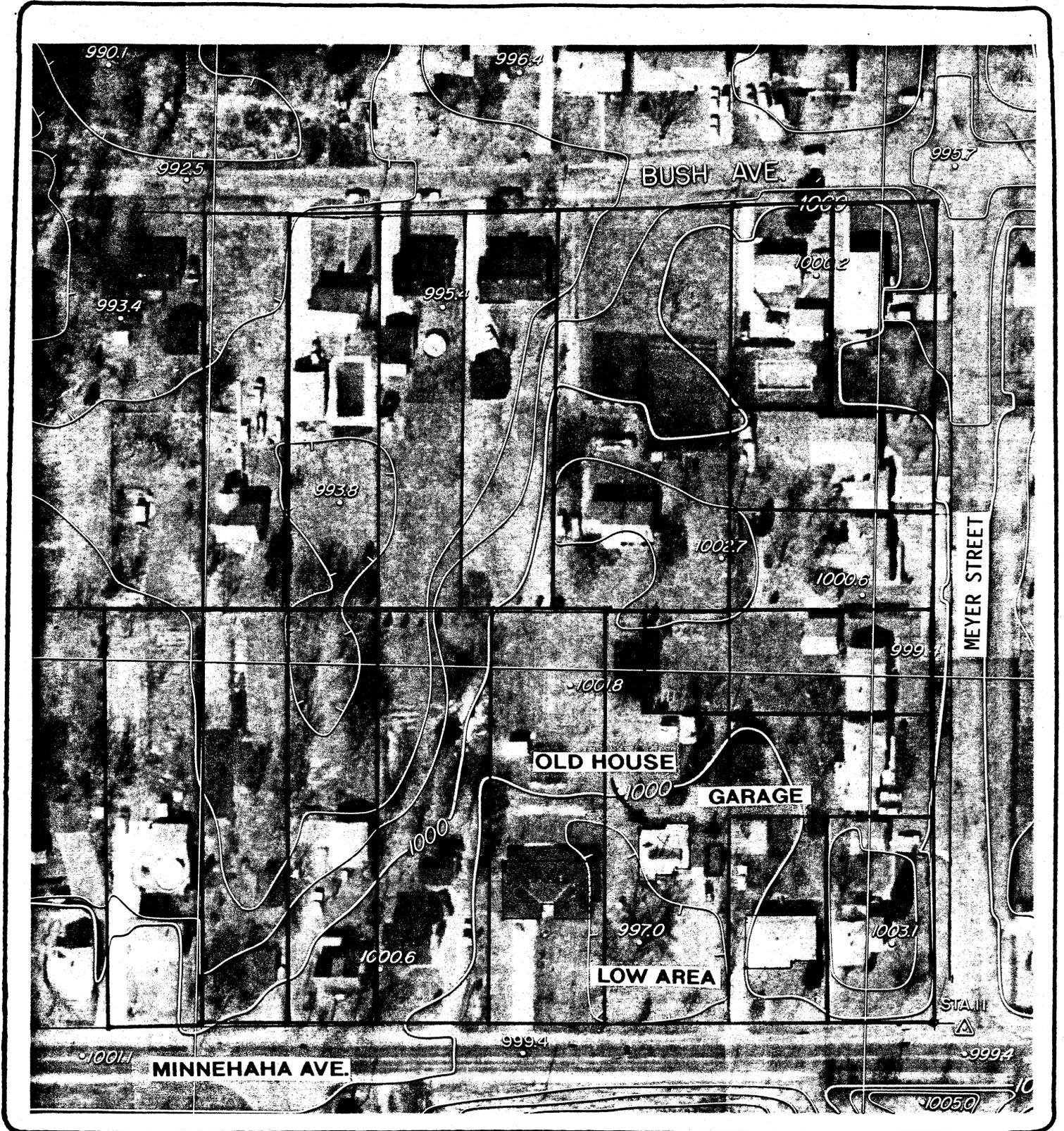
1. Location Map
2. Property Line/Zoning Map
3. Property Line/Topographic Map
4. Site Plan
5. Photocopy of house pictures
6. Letter from Mr. Vietoris dated November 27, 1991
7. Comments from Thomas And Evva Kelcher
8. Letter from Robert Rubbelke dated December 9, 1991



PROPERTY LINE / ZONING MAP

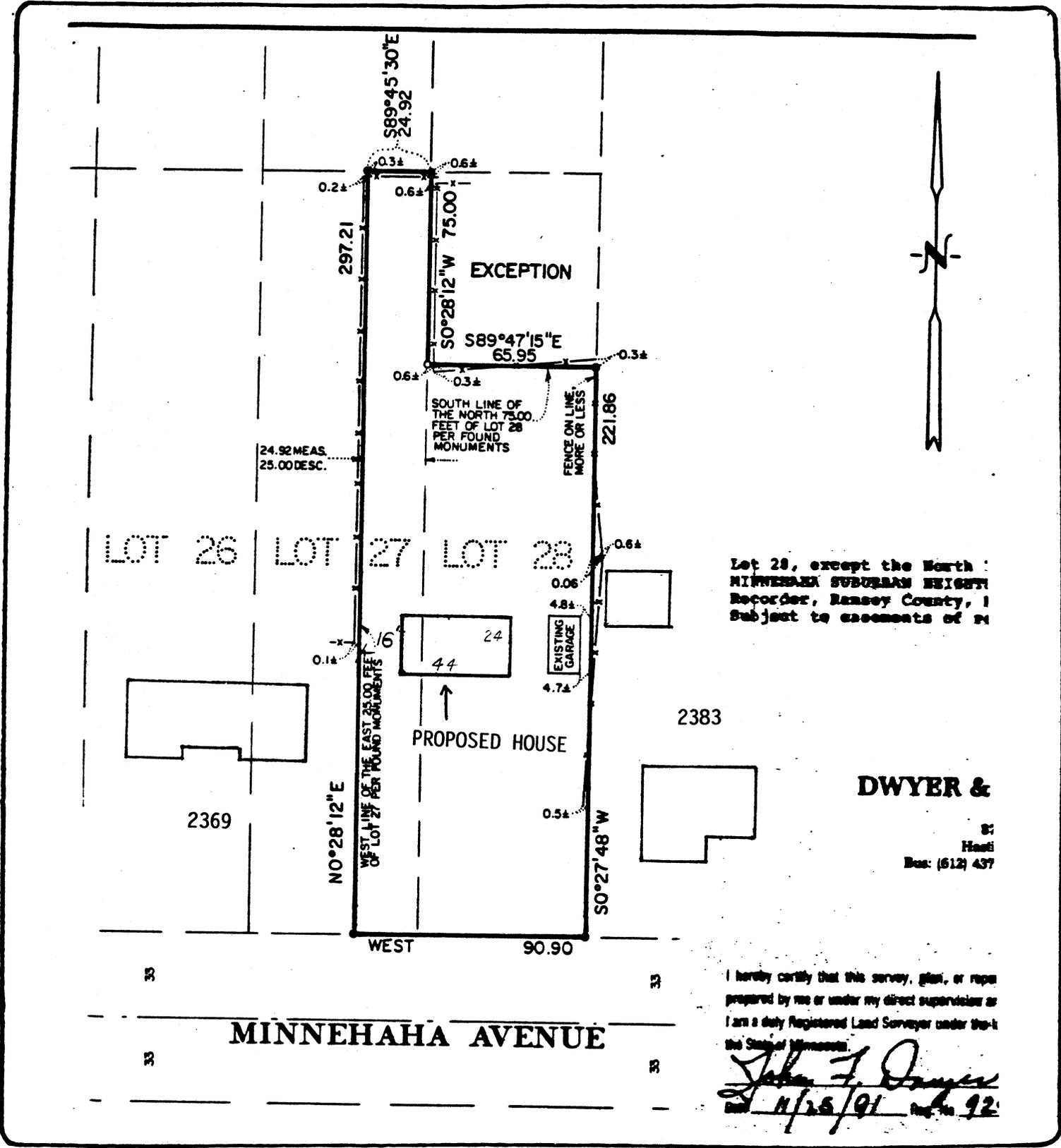
 SITE





PROPERTY LINE/TOPOGRAPHIC MAP





Lot 28, except the North:
 MINNEHAHA SUBURBAN EIGHT
 Recorder, Ramsey County, 1
 Subject to easements of 11

DWYER &

S:
 Head:
 Bus: (612) 437

I hereby certify that this survey, plan, or report prepared by me or under my direct supervision as I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

John F. Dwyer
 Date: 11/26/91 reg. no. 92

SITE PLAN





NORTH SIDE

WEST SIDE



WEST SIDE

SOUTH SIDE



EAST SIDE



NORTH SIDE

#3 PROPOSED ROUTE OF TRAVEL IS WEST ON MINNEHAMA FROM CENTURY AVE. TO THE SITE. APPROXIMATELY THREE-FOURTHS OF A MILE.

THE TOTAL TRIP WOULD BE APPROXIMATELY $6\frac{3}{4}$ MILES AND AS PER SIMPLE BUILDING MOVERS WOULD BE ACCOMPLISHED IN ONE NIGHT.

#7 a) THE HOUSE WILL BE A RAISED RANCH / SPLIT LEVEL WITH THE ABILITY TO ADD BEDROOMS IN THE LOWER LEVEL. THE HOUSE IS A LATE 1960'S EARLY 1970'S VINTAGE WITH A FIREPLACE AND MASONITE SIDING. IT HAS 1056 SQ. FT. FINISHED. PLEASE NOTE BUILDING DRAWINGS. THE HOUSE IS VERY COMPATIBLE WITH THE HOUSES IN THE NEIGHBORHOOD.

THE OWNER PURCHASED THE PROPERTY FROM THE VETERANS ADMINISTRATION AND DEMOLISHED THE BURNT OLD STRUCTURE. THE SEWER LINE HAS BEEN CAPPED AND THE SHALLOW ~~WELL~~ WELL IS BEING SEALED BY MANHEWELL DRILLING OF HASTINGS, MINN.

b) THE MASONRY + CONCRETE WORK WILL BE PERFORMED BY WILL EDGELL CONCRETE OF ST. PAUL PARK A LICENSED CONTRACTOR. PLUMBING WILL BE DONE

By PARK PLUMBING - JOHN ASCHENBRENNER A LICENSED PLUMBER, MY ELECTRICIAN ~~IS~~ IS THE DAKOTA COUNTY ELECTRICAL INSPECTOR SO I NEED TO FIND A NEW ELECTRICIAN. THE HEATING WILL PROBABLY BE HANDLED BY RUMPCA HEATING. THE OWNER WILL PERFORM HIS OWN CARPENTRY WORK.

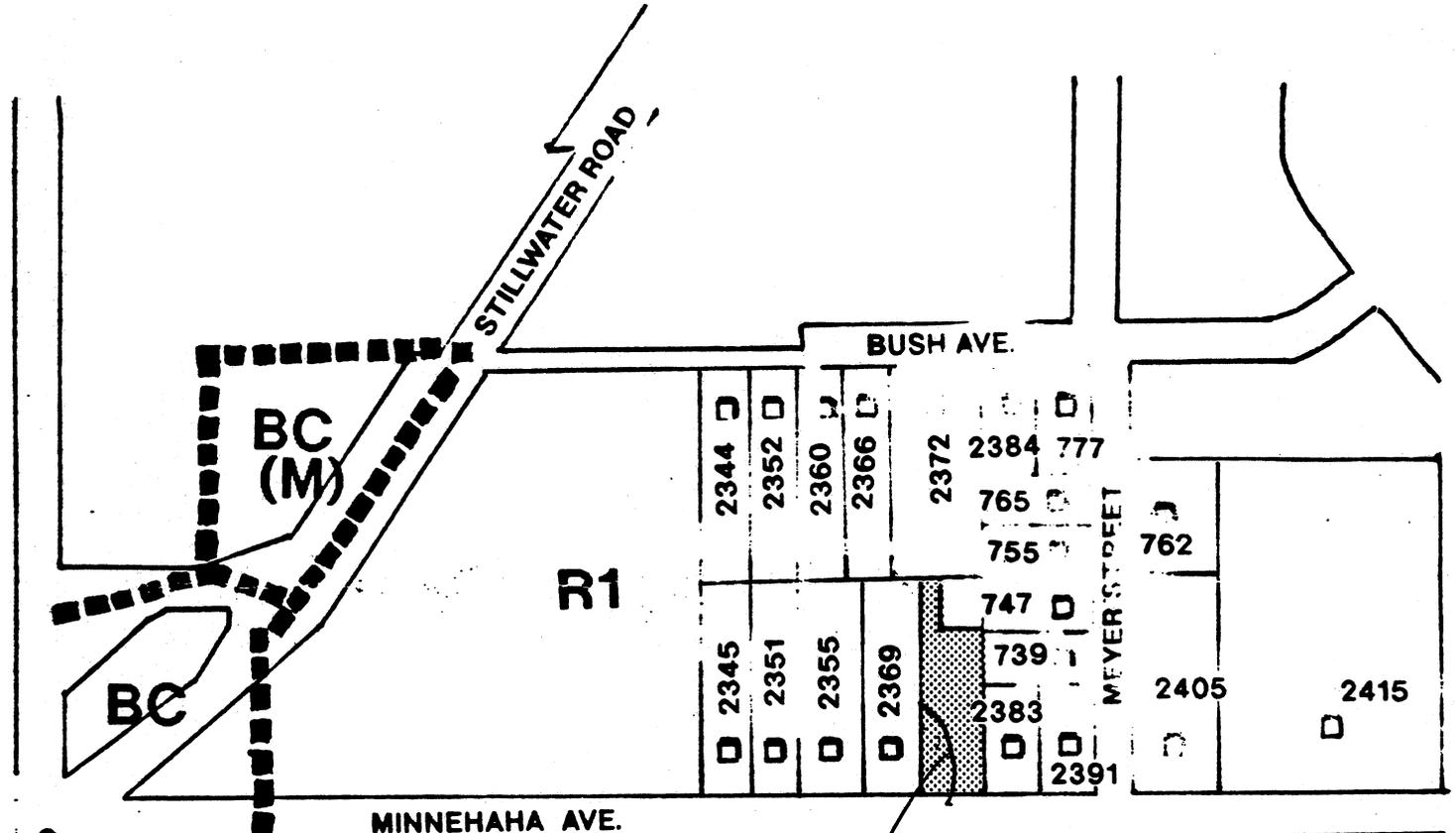
c) THE WATER RUNOFF WILL NOT CHANGE AS IT WAS WITH THE PREVIOUS STRUCTURE. THE OWNER WOULD LIKE TO SEE THE CITY ENGINEERING DEPARTMENT REVIEW WHERE THE WATER IS TO DRAIN, ^{FROM THE PROPERTY.} ACCORDING TO THE NEIGHBORS THERE WAS A CULVERT UNDER MINNEHAWA AVE SO THAT THE WATER WOULD DRAIN INTO THE RETENTION POND ON 3M PROPERTY, ^{TO THE SOUTH.} WHEN THE ROAD WAS REPAVED THE CULVERT ~~WAS~~ UNDER THE ROAD WAS REMOVED AND NOT REPLACED, IT SHOULD HAVE BEEN. VISUAL INSPECTION SHOWS WHERE THERE IS NATURAL DRAINAGE FOR SEVERAL LOTS ON MINNEHAWA TO THE FRONT OF THIS LOT.

d) SIMPLE BUILDING MOVERS HAVE MOVED MANY HOUSES AND PUBLIC STREETS SHOULD NOT BE DAMAGED

e) THE PROPOSED HOUSE WILL BE HOOKED TO CITY SEWER AND WATER AND NOT POSE ANY HEALTH RISK. TIME WILL BE OF THE ESSENCE TO EXCAVATE FOR THE FOUNDATION, PLACE HOUSE OVER HOLE, POUR FOOTINGS, LAY BLOCK AND FRAME-UP LOWER LEVEL. THEN THE HOUSE WILL BE SET ON THE LOWER LEVEL. ONCE THIS IS ACCOMPLISHED THE HOUSE IS SECURE.

I WOULD ASK THE CITY TO APPROVE MY REQUEST TO MOVE THE ONTO THE PROPERTY IN MAPLEWOOD.

Marty Victor

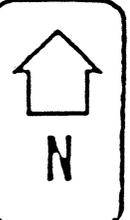


THIS AREA FILLS WITH WATER, I DO NOT RECALL A CULVERT ~~HERE~~ NEITHER DO THE TUELS, WHO OWNED THE PROPERTY IN THE 1960'S & 70'S.

I DON'T OBJECT, TO A HOUSE BEING BROUGHT IN, BUT I DO WORRY ABOUT PREMATURE

DESTRUCTION DUE TO WATER ROF.
PROPERTY LINE / ZONING MAP

 SITE



12-9-91

to the city of map wood
of Kenneth Property
we the Trubelkas
live on the west side of this
lot for 14 years, in the spring
of the year before the ground
is so the water drainage in we
have these quick flows and ^{the}
the half of the lot ^{is} ^{filled}
up with water in front right up
to the side of my four sections!
It also happens when we
have quick rains in the summer
the water goes in the lot from
4 lots from the west and from 2 lots
from the east. There has to be
a drainage system put in like there
was years ago (when I was a
boy there was a culvert there
I used to live a block west there)

If they could put this
house 20 ft. back ^{from} were it is
on the ^{lot} we will be flooded
out, all times.

Thank you
Mr. Robert Trubelka

P. 5

if an associate planner comes
over I can explain to him better.

findings, they did not revise the site plan. He requests that the Board approve the original plan they submitted.

Chairperson Moe asked the audience if there is anyone present wishing to speak about this matter. Art Wilde, 2464 Flandrau Street, gave two objections. Mr. Wilde feels that the driveway behind his house would decrease the value of his home. He would end up with this new street behind his house. He does not feel anyone would buy his lot with a road on two sides. Secondly, he feels it will be a hazard for small children.

Brian Shelby, 2473 Flandrau Street, objected to the driveway and said the plan could be revised. He said he drew an alternative that he submitted to the City Council at the public hearing.

Since there were no further comments, Chairperson Moe closed the public-input portion of this review.

The Board discussed the Fire Marshal's requirement for this loop drive. The Board asked Secretary Ekstrand what the impact of their motion would be if they took no action as staff recommended. Secretary Ekstrand explained that if the Board took "no action", they would in essence be accepting the previous plan the Board approved on December 10, 1991.

Boardmember Robinson moved: Take no action.

Boardmember Erickson seconded. Ayes--Moe, Erickson,
Holder, Robinson,
Thompson, Wasiluk

Mr. Wilde asked what is the process now. Secretary Ekstrand explained that the Board's motion was to take no action on the Council's directive for a revised site plan. If someone appeals the Board's decision, the City Council would then review this issue. Mr. Arkell said that he plans to take this issue back to the Council for their review.

6. DESIGN REVIEW

a. House Moving - Marty Vietoris, 2375 Minnehaha Avenue

Marty Vietoris explained his plans to move a one-story, 24- by 44-foot single dwelling onto a lot on the north side of Minnehaha Avenue.

The Board discussed with Mr. Vietoris the existing drainage problems in this neighborhood. Mr. Vietoris said he will propose to the engineer that a culvert be

placed under the street to drain into the natural retention pond on the 3M property to the south.

Chairperson Moe asked for comments from the public. There were no comments.

Boardmember Erickson moved approval of the placement of the one-story rambler-style house on the lot at 2375 Minnehaha Avenue as shown in the January 17, 1992 staff report. The applicant shall do the following:

1. Submit \$1,000 or an irrevocable letter of credit for \$1,000 to guarantee street repair that results from damages due to moving the house.
2. Submit an irrevocable letter of credit or cash for 1 1/2 times the estimated cost of completing the construction required by code.
3. Sign an agreement to convey title. This agreement shall give the City the right to take possession of the house and property if the required work is not completed within 180 days after the City issues the moving permit. This agreement would allow the City the right to complete the construction required by code or demolish and remove the structure. The City Attorney shall draft this agreement.
4. Build a driveway turnaround.
5. Provide an address as code requires.
6. Submit a drainage plan to the City Engineer before getting a building or moving permit. This plan must show that the storm water run-off from this site will not cause an adverse effect on surrounding properties.

Boardmember Robinson seconded

Ayes--Moe, Erickson,
Holder, Robinson,
Thompson, Wasiluk

- b. ~~Maplewood Mall Addition - Corporate Property Investors,
3001 White Bear Avenue~~

~~James Selanic, Vice President of Corporate Property Investors, explained plans for this project. Mr. Selanic said he has reviewed the conditions of the staff recommendation and is in agreement with them.~~

Action by Council:

Endorsed _____

Modified _____

Rejected _____

Date _____

MEMORANDUM

TO: City Manager
 FROM: Thomas Ekstrand, Associate Planner
 SUBJECT: Conditional Use Permit Revision
 LOCATION: Gervais Avenue
 APPLICANT: The Cottages of Maplewood West Limited Partnership
 PROJECT: Cottages of Maplewood West
 DATE: February 6, 1992

INTRODUCTION

The applicant is requesting that the City revise condition fourteen of the conditional use permit for the Cottages of Maplewood. They would like this condition changed to allow the site plan they originally proposed. The Council had required a revised site plan with no driveway along the west property line. The applicant has decided not to prepare a revised plan and wants to keep the driveway along the west property line. The letter from the project architect on pages 10 and 11 explains the applicant's reasons.

BACKGROUND

December 10, 1991: The Community Design Review Board approved the Cottages with the westerly driveway as the applicant proposed it. The Board required the building siding to be aluminum or vinyl.

December 30, 1991: The City Council approved a conditional use permit for the Cottages of Maplewood West. Condition Fourteen reads as follows:

- 14. The CDRB shall review a revised site plan for a project of 94 to 106 units which provides for the following:
 - a. There shall be no road on the abutting westerly property line.
 - b. There may be two access points to the Cottages of Maplewood West project.
 - c. There shall be berming and planting on the westerly property line to provide screening and buffering for the residential properties pursuant to City Code.
 - d. The CDRB shall report back to the Council on the quality of the exterior materials.

January 28, 1992: The Board reconsidered the site plan to determine if the applicant should drop the westerly drive. The Board moved to "take no action," thereby keeping with their previous decision to accept the site plan proposed by the applicant.

DISCUSSION

Westerly Driveway

In addition to the developer's site plan on page 6, there are at least four alternatives. The developer's plan and Alternatives One, Two and Three are acceptable to the Fire Marshal. Each of these alternatives would reduce or eliminate traffic on the west side of the site.

Alternative 1 (page 7)

- a. Narrow the westerly driveway to 14 feet and chain off access from the three east-west drives for emergency vehicles only.
- b. Widen the three east-west drives to 24 feet for two-way traffic and add turn-arounds at the west end of each driveway. This may require that the applicant purchase at least 12 more feet of land to the north if they cannot meet the minimum setbacks. The City may be able to finance this cost with additional tax-increment financing.
- c. This plan would lose or require the moving of 9 parking stalls and 14 garages. Dropping parking spaces would require Council approval. To avoid this problem, the developer could extend cul-de-sacs from the ends of the east-west driveways to serve the garages and parking spaces.

Alternative 2 (page 8)

This plan is the same as Alternative 1, but the westerly driveway would stay 20 feet wide. This would allow the City to approve use of this driveway in the future by residents if there are no traffic problems.

Alternative 3 (page 9)

This alternative would be the same as Alternative 2, except that the westerly driveway would be open to residents. There would, therefore, be no loss of parking. Only residents living on the westerly drive would have to use it. The number of residential units using the westerly driveway would drop from 48 to 23. (23 is the number of garages and parking stalls accessed from the westerly driveway.)

Alternative 4 (not shown)

The City Council proposed the fourth alternative. It would drop the west driveway. This would probably require access drives through the courtyards. This alternative would require a major site redesign. The applicant told us that this alternative would cause the loss of too many units and kill the project.

Building Design

The Board should report back to the Council on the quality of the exterior materials. The Board required that the building exterior be no-maintenance aluminum or vinyl siding.

RECOMMENDATION

I. Adopt the resolution on page 12, revising Condition 14 of the conditional use permit for the Cottages of Maplewood West as follows: (I have underlined the additions and crossed out the deletions.)

14. The CDRB shall review a revised site plan for a project of 94 to 106 units which provides for the following:

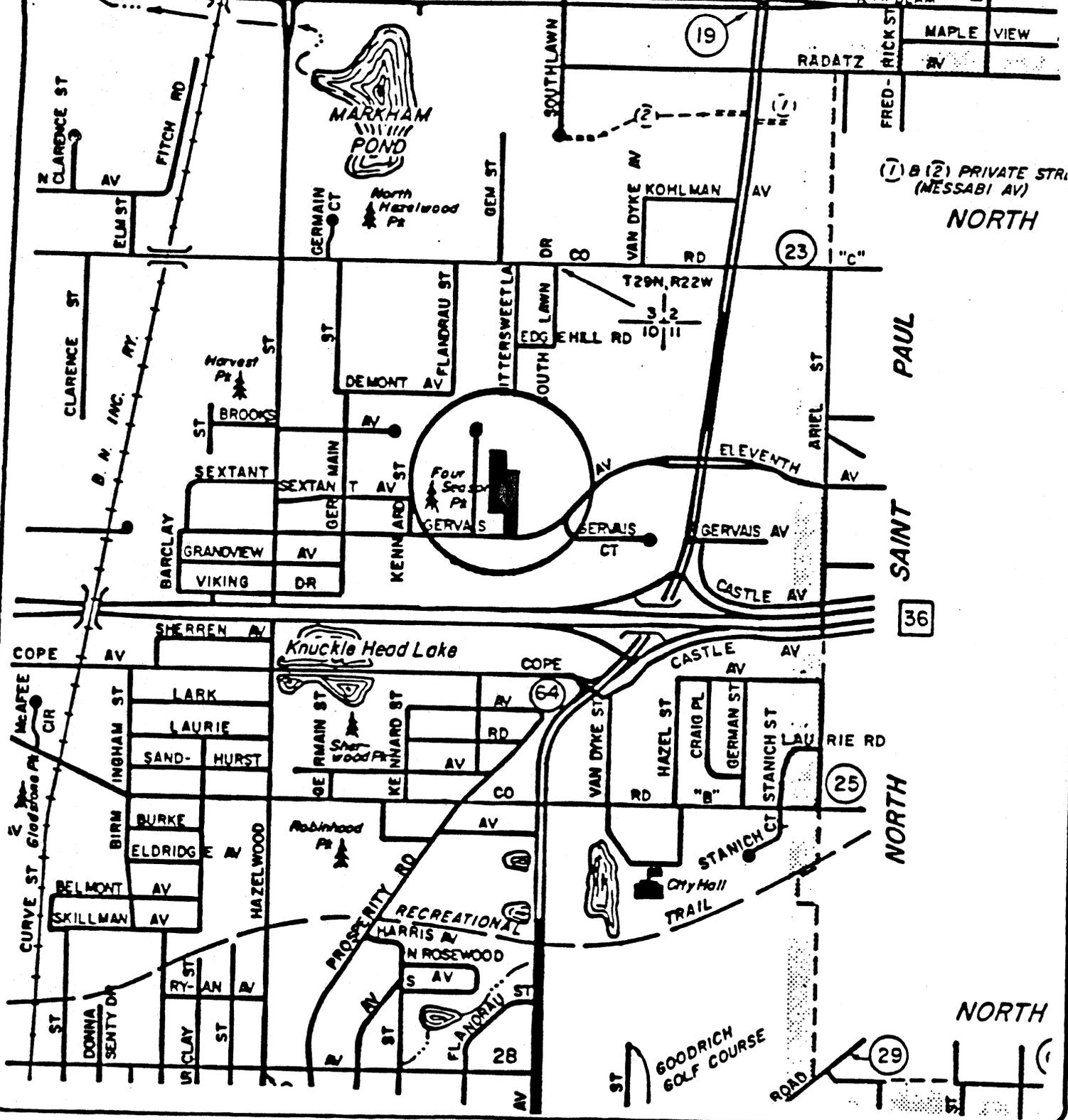
- a. ~~There shall be no road on the abutting westerly property line.~~ Compliance with the site plan concept labelled "Alternative 3" in the February 6, 1992 staff report.
- b. There may be two access points to the Cottages of Maplewood West project.
- c. There shall be berming and planting on the westerly property line to provide screening and buffering for the residential properties pursuant to City Code.
- d. ~~The CDRB shall report back to the Council on the quality of the exterior materials.~~

II. Report to the City Council that the quality of the proposed exterior materials are satisfactory and consistent with other approved rental housing projects.

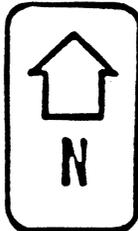
te\cotwest.mem (10)

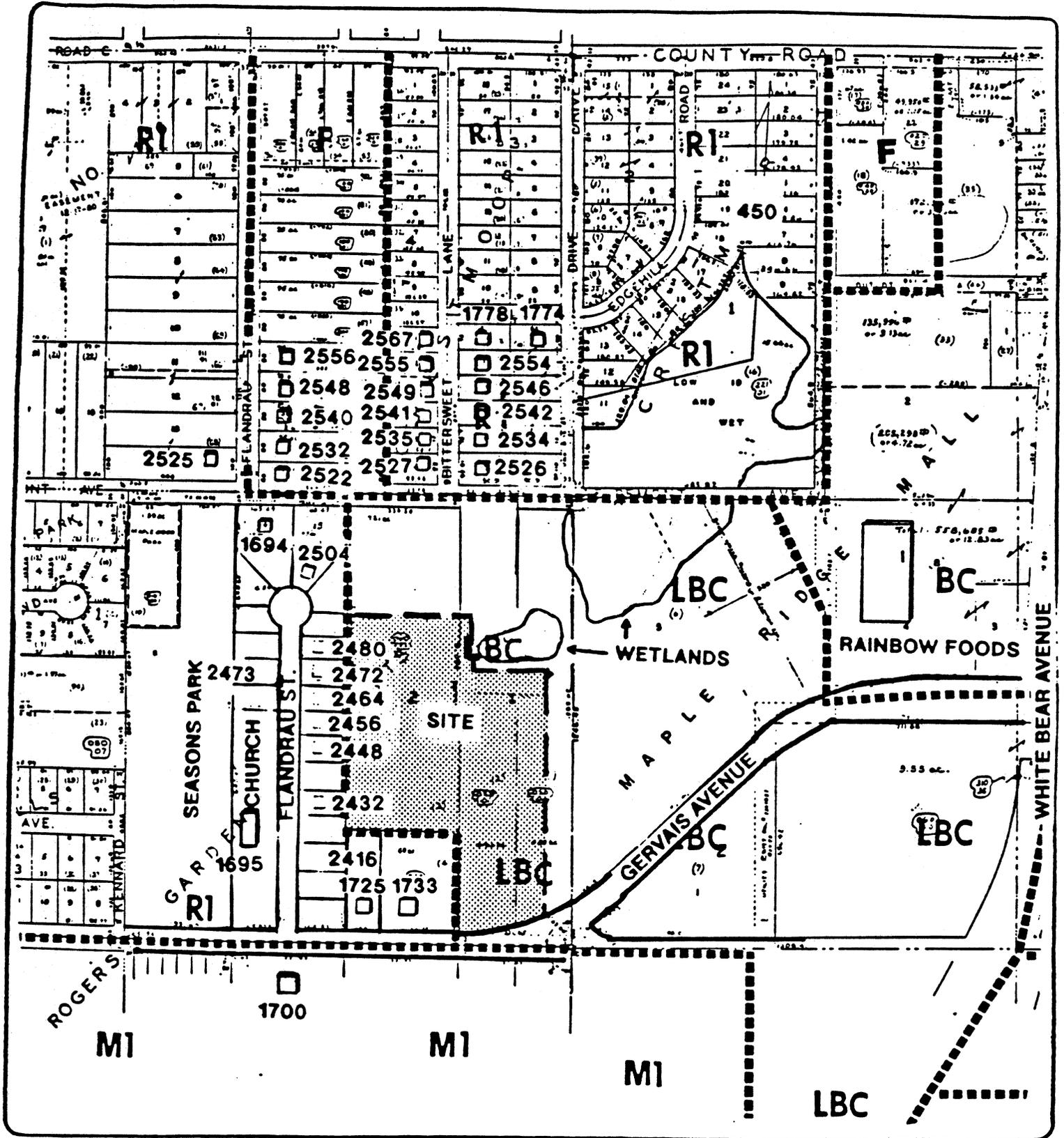
Attachments

1. Location Map
2. Property Line/Zoning Map
3. Original Site Plan
4. Site Plan Alternative 1
5. Site Plan Alternative 2
6. Site Plan Alternative 3
7. Letter from Tim Casey dated January 16, 1992
8. Resolution
9. Community Design Review Board minutes
10. Plans date-stamped November 25, 1991 (separate attachment)



LOCATION MAP





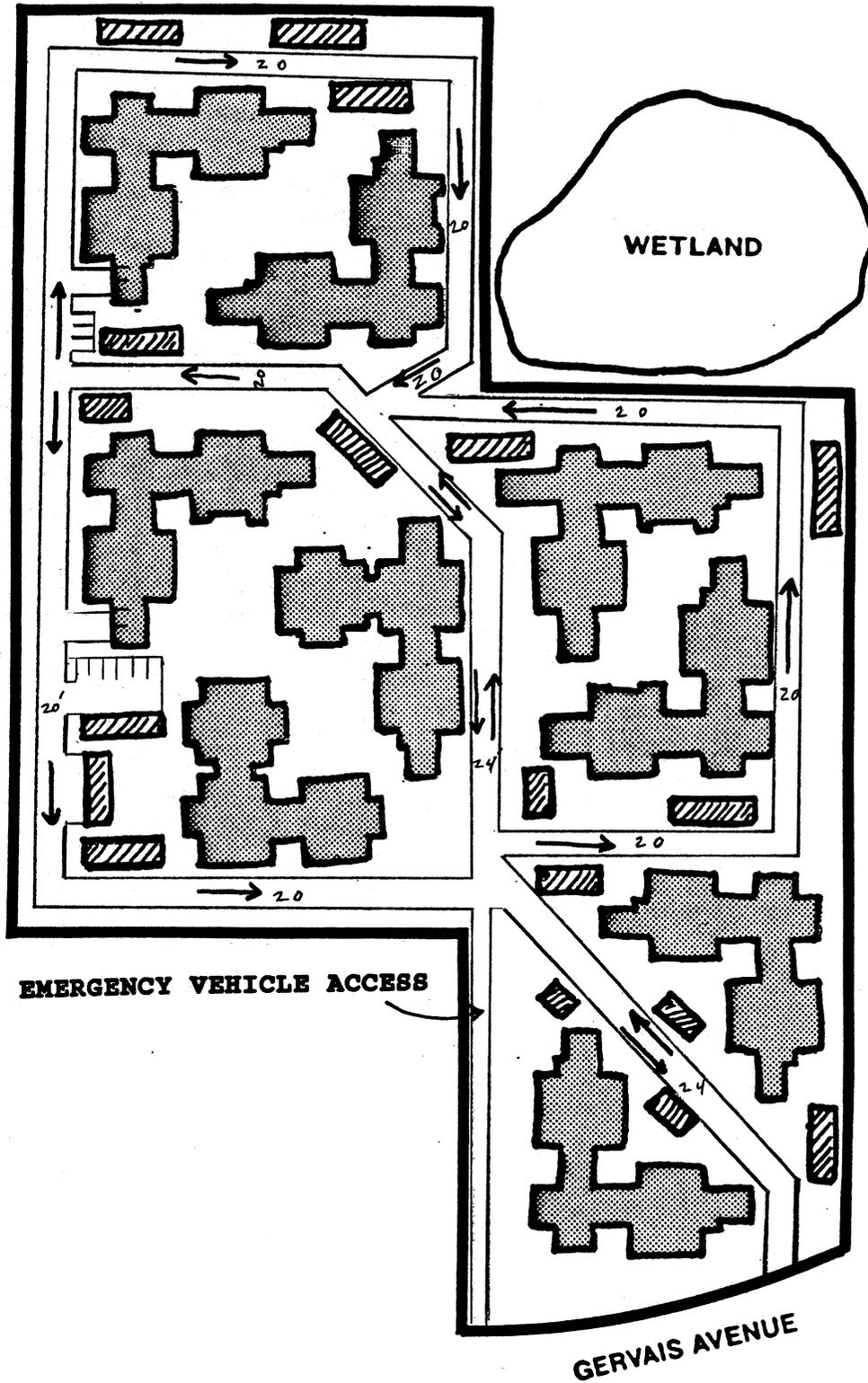
PROPERTY LINE / ZONING MAP



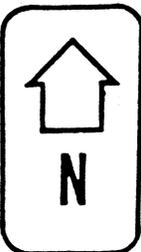
SITE



N



**ORIGINAL
SITE PLAN**



VEHICLE
TURNAROUND

VEHICLE
TURNAROUND

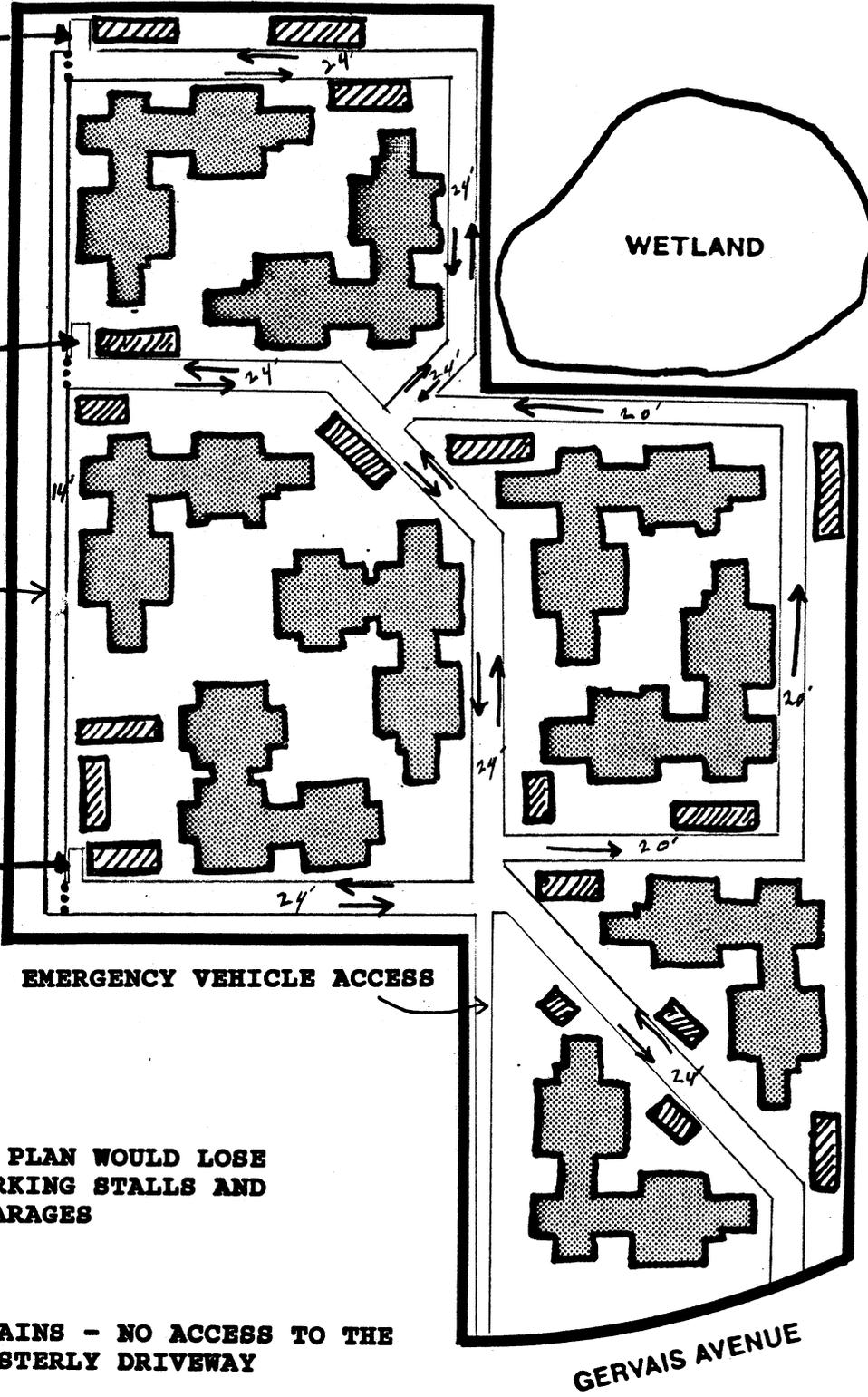
DRIVEWAY
WIDTH - 12'

VEHICLE
TURNAROUND

EMERGENCY VEHICLE ACCESS

THIS PLAN WOULD LOSE
9 PARKING STALLS AND
14 GARAGES

∴ CHAINS - NO ACCESS TO THE
WESTERLY DRIVEWAY



SITE PLAN

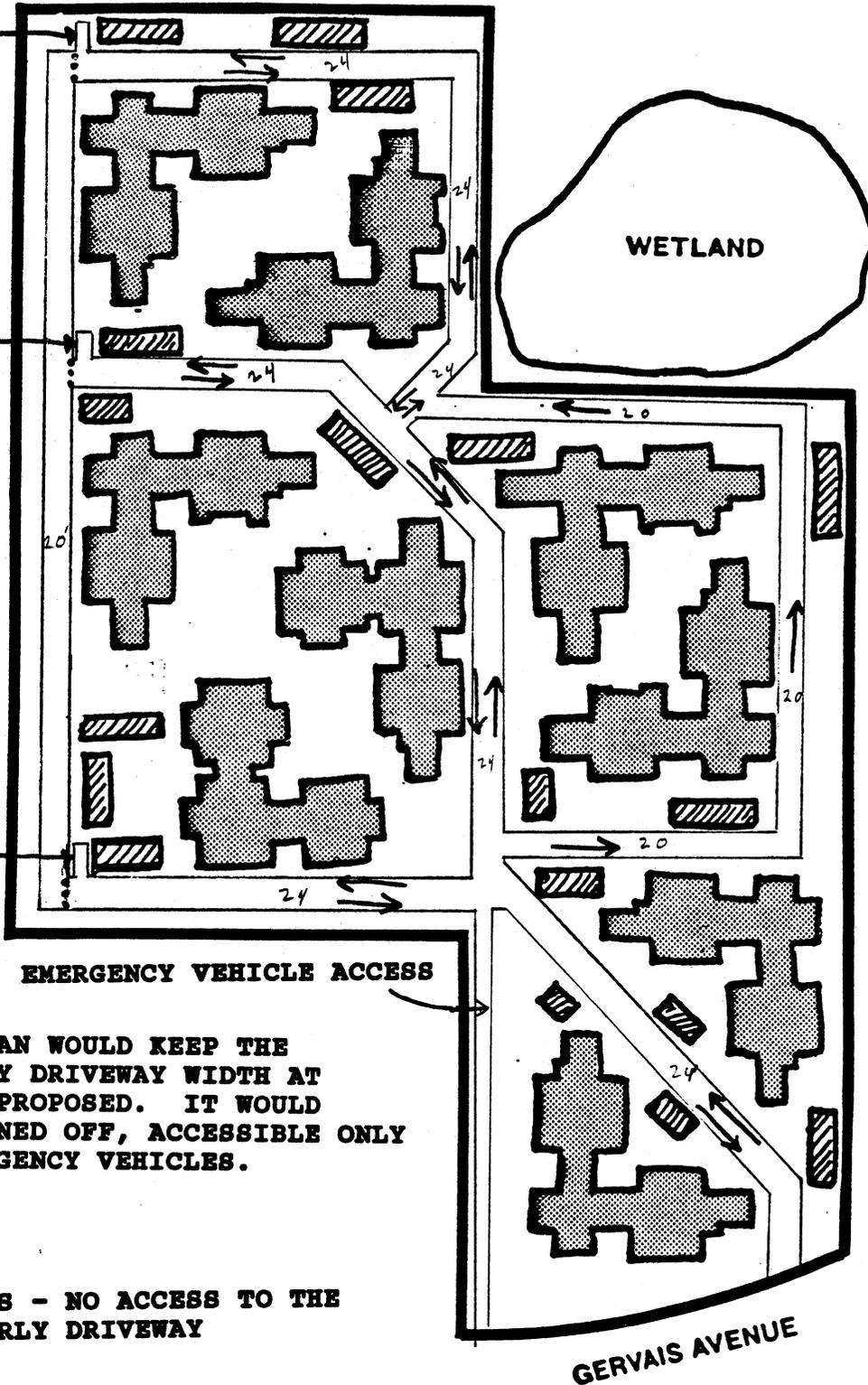
ALTERNATIVE 1



VEHICLE
TURNAROUND

VEHICLE
TURNAROUND

VEHICLE
TURNAROUND



EMERGENCY VEHICLE ACCESS

THIS PLAN WOULD KEEP THE
WESTERLY DRIVEWAY WIDTH AT
20' AS PROPOSED. IT WOULD
BE CHAINED OFF, ACCESSIBLE ONLY
TO EMERGENCY VEHICLES.

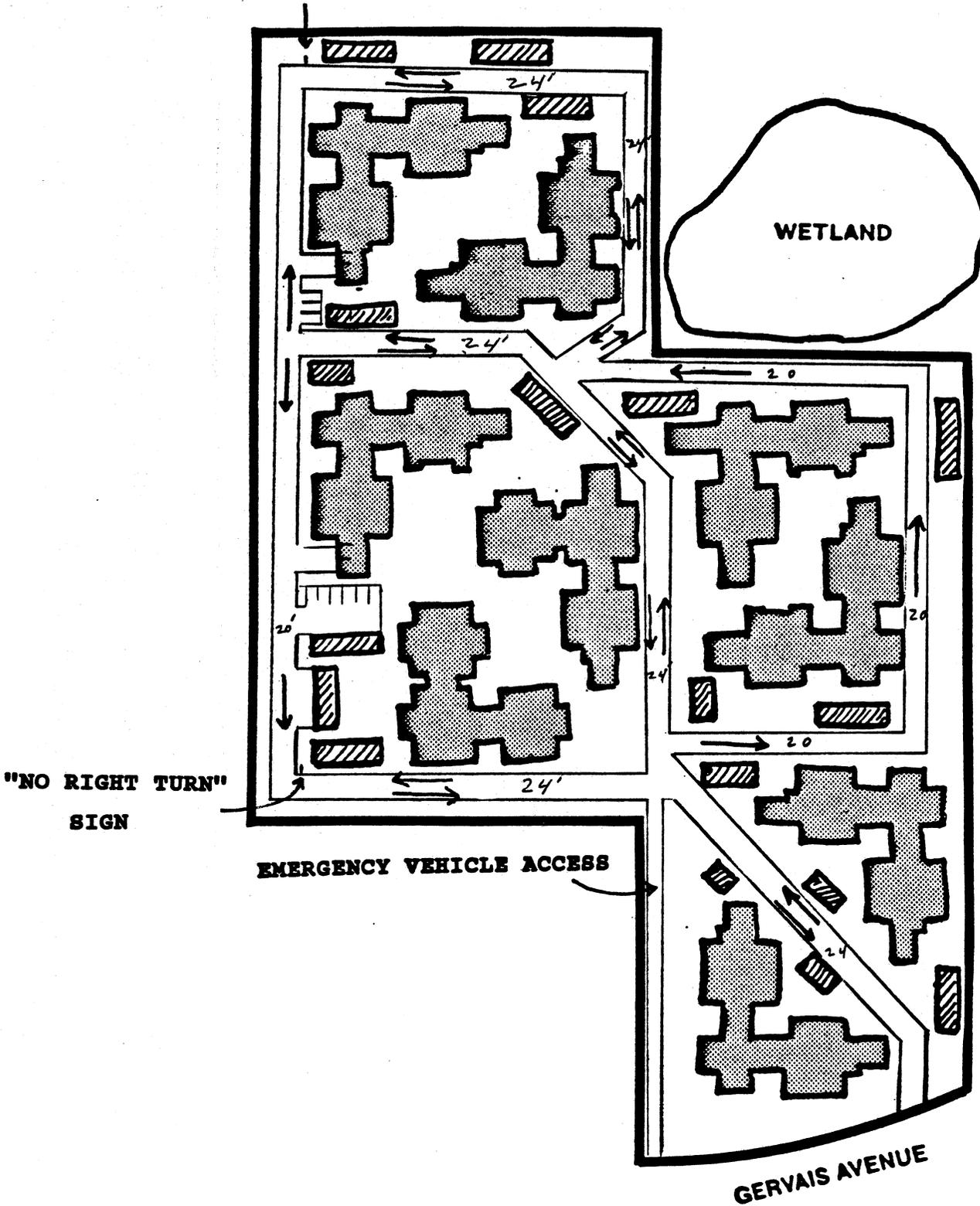
⋮ CHAINS - NO ACCESS TO THE
WESTERLY DRIVEWAY

SITE PLAN

ALTERNATIVE 2



"NO LEFT TURN" SIGN

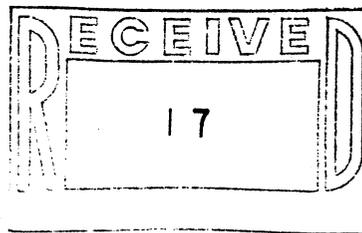


SITE PLAN

ALTERNATIVE 3



January 16, 1991



Mr. Jerry Mogren
Cottages - Maplewood West
10116 - 67th Lane North
Stillwater, MN 55082

RE: Site Plan

Dear Jerry:

I looked into the Maplewood City Council's recommendation that we remove the one way road along the western edge of the site. The following outlines my findings as to the impact this would have.

1. Public safety issue:

- a. By removing the road, we would still have to provide some form of paved surface for the emergency vehicles, probably a 16' wide strip of bituminous. This access road then would have to be locked and chained so that only emergency vehicles can get in. To do so, they would, in an emergency, have to get out of their vehicle and cut the chain. I know fire engines have chain cutters, but I am not sure if ambulances have them.
- b. This access road would have to be kept clear of snow if the winter time. Although you would hire a snow removal company to remove your snow, there is always the risk that they will forget the key to get to the road, delaying the snow removal, and thus increasing the risk of emergency vehicles not being able to access the buildings on the west edge.
- c. We met with Jim Embertson, Maplewood's Fire Marshall. He expressed concern that the three roads leading to the access road, which would become dead ends, may become blocked with cars parking at or near the dead ends, thus making it hard for emergency vehicles to pass.

2. Created dead ends:

- a. As I mentioned above, we would have three dead end roads. These dead end roads would need to have some form of turnaround at the end of them. Our options are either a large 60' radius cul-de-sac or a "T" type configuration. In both cases, we would need to configure the roads such that they are closer to the units making it less desirable to live in them. They would also take up more area increasing paved surface area.
- b. By creating dead ends, I think you will have the potential for clumsy traffic pattern. If someone were to drive down the wrong road, they must somehow turnaround and comeback.

361 East Kellogg Blvd.
St. Paul, Minnesota 55101
Fax 612-226-5092
612-227-0644

Mr. Jerry Mogren
January 16, 1992
Page Two

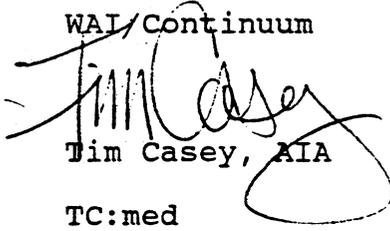
- c. One other item is that if we were to change the road to all two way traffic, we would have three points on the site where drivers may drive toward the existing residential area instead of one. This would create three times as many spots where headlights may shine into residential areas.
3. Loss of parking spaces: The minimum parking spaces we would lose is 23. We would not be able to relocate all of them due to setback requirements and building placement. Also, if we could relocate all of them, they would not be properly distributed for the residents who live on the west side of the site, thus making it harder to park and get to their units.
4. Widening the roads by 4': Because the roads as drawn are one way, we were able to keep the widths of them down to 20'. By converting them into two way traffic, we would need to make them wider by 4' or 12' total. This obviously will force the building to get closer together and probably force the roads to be closer to the units. This, we feel, could take away from the openness of the site and reduce green area.

In regards to your site, I have not been able to think of any pros, only cons. It seems a shame to inflict so much damage on a site that probably will not have that much traffic on it anyway. When laying out the site, we tried to maintain as much green space and open areas as possible. If we are required to make these alterations, the impact would make it less desirable for the people who live in the cottages.

If you have any questions, please call me. Also please let me know in what direction I am to proceed.

Sincerely,

WAI/Continuum



Tim Casey, AIA

TC:med

c: John Arkell
Bruce Mogren
Tom Ekstrand

CONDITIONAL USE PERMIT RESOLUTION

WHEREAS, Cottages of Maplewood West Limited Partnership applied for a conditional use permit revision for the Cottages of Maplewood West planned unit development.

WHEREAS, this permit applies to the undeveloped property on the north side of Gervais Avenue, east of Flandrau Street. The legal description is:

The North 689.64 feet of the South 989.64 feet of Lot 2, the North 284.67 feet of the South 989.64 feet of the West 15.0 feet of Lot 1, and the South 704.97 feet of Lot 1, all in E. G. Rogers Garden lots, Ramsey County, subject to Gervais Avenue road easement.

WHEREAS, the history of this conditional use permit is as follows:

1. The City Council approved this conditional use permit on December 30, 1991.
2. The City Council held a public hearing to consider this revision on _____, 1992. City staff published a notice in the paper and sent notices to the surrounding property owners as required by law. The Council gave everyone at the hearing a chance to speak and present written statements. The Council also considered reports and recommendations of the City staff and Planning Commission.

NOW, THEREFORE, BE IT RESOLVED that the City Council revise Condition 14 of the conditional use permit for the Cottages of Maplewood west for the following reasons.

1. The use would be located, designed, maintained, constructed and operated to be in conformity with the City's Comprehensive Plan and Code of Ordinances.
2. The use would not change the existing or planned character of the surrounding area.
3. The use would not depreciate property values.
4. The use would not involve any activity, process, materials, equipment or methods of operation that would be dangerous, hazardous, detrimental, disturbing or cause a nuisance to any person or property, because of excessive noise, glare, smoke, dust, odor, fumes, water or air pollution, drainage, water run-off, vibration, general unsightliness, electrical interference or other nuisances.

5. The use would generate only minimal vehicular traffic on local streets and would not create traffic congestion or unsafe access on existing or proposed streets.
6. The use would be served by adequate public facilities and services, including streets, police and fire protection, drainage structures, water and sewer systems, schools and parks.
7. The use would not create excessive additional costs for public facilities or services.
8. The use would maximize the preservation of and incorporate the site's natural and scenic features into the development design.
9. The use would cause minimal adverse environmental effects.

Condition 14 shall be revised to read:

14. The CDRB shall review a revised site plan for a project of 94 to 106 units which provides for the following:
 - a. Compliance with the site plan concept labelled "Alternative 3" in the February 5, 1992 Staff report.
 - b. There may be two (2) access points to the Cottages of Maplewood West project.
 - c. There shall be berming and planting on the westerly property line to provide screening and buffering for the residential properties pursuant to City Code.
 - d. The CDRB shall report back to the Council on the quality of the exterior materials.

Adopted _____ , 1992.

mb\res\cottages.cup

MINUTES OF THE MAPLEWOOD COMMUNITY DESIGN REVIEW BOARD
1830 EAST COUNTY ROAD B, MAPLEWOOD, MINNESOTA
FEBRUARY 11, 1992

1. CALL TO ORDER

Chairperson Moe called the meeting to order at 7 p.m.

2. ROLL CALL

Donald Moe	Present
Marvin Erickson	Present
Michael Holder	Present
Marie Robinson	Present
Bruce Thompson	Present
Scott Wasiluk	Absent

3. APPROVAL OF MINUTES

Boardmember Thompson moved to dispense with minutes of 1-28-92.

Boardmember Erickson seconded Ayes--Moe, Erickson, Holder,
Robinson, Thompson

4. APPROVAL OF AGENDA

Boardmember Erickson moved approval of the agenda as submitted.

Boardmember Holder seconded Ayes--Moe, Erickson, Holder,
Robinson, Thompson

5. UNFINISHED BUSINESS

a. Site Plan Reconsideration - Maplewood Cottages West, Gervais Avenue

Secretary Ekstrand explained that this project is before the Board again for review and reconsideration of the exterior materials.

Bruce Mogren spoke representing the applicant. Mr. Mogren said a maintenance-free exterior is planned for this project. Boardmember Robinson said her notes reflect that the applicant proposed vinyl or aluminum siding at the December 6 Board meeting. Chairperson Moe asked Mr. Mogren if they had reconsidered the location of the westerly driveway. Mr. Mogren said they have discussed this with the architect for the project and they will attempt to minimize the traffic on the westerly driveway by making the east-west roads two-way roads. The Board members discussed the various westerly driveway alternatives proposed in the staff report.

Boardmember Erickson moved acceptance of the staff recommendation changing Condition 14 to read:

14. The CDRB shall review a revised site plan for a project of 94 to 106 units which provides for the following:
 - a. Adoption of the resolution revising Condition 14 of the conditional use permit for the Cottages of Maplewood West as follows:
 - (1) Compliance with the site plan concept labelled "Alternative 3" in the February 6, 1992, staff report.
 - (2) There may be two access points to the Cottages of Maplewood West Project.
 - (3) There shall be berming and planting on the westerly property line to provide screening and buffering for the residential properties pursuant to City Code.
 - b. Report to the City Council that the quality of the proposed exterior materials is satisfactory and consistent with other approved rental housing projects and is vinyl or aluminum siding.

Boardmember Robinson seconded

Ayes--Moe, Erickson,
Holder, Robinson,
Thompson

6. DESIGN REVIEW
7. VISITOR PRESENTATIONS
8. BOARD PRESENTATIONS

Boardmember Thompson reported on the February 10 Council meeting.

9. STAFF PRESENTATIONS

- a. Board Member Volunteer for the February 24 Council Meeting:
Mike Holder
- b. Tentative February 25 Review Board Agenda:
 - (1) Building Addition to Mounds Park Academy
 - (2) Temporary Sign Code Amendment
- c. City Image - Director's Request for Input

The City needs to entice business into Maplewood and improve the City's image with developers. The City Council needs to improve communication and relationships between Boards and

AGENDA REPORT

TO: City Manager
FROM: Assistant City Engineer - Bruce A. Irish
SUBJECT: Highwood - McKnight Outlet, Project 90.10
DATE: February 17, 1992

Action by Council:

Endorsed _____

Modified _____

Rejected _____

Date _____

Introduction

The Public Hearing Mailing List for the subject project is transmitted herewith. A resolution to order the project is attached.

Background

A question regarding the cost of the proposed sanitary sewer and services on McKnight versus the special assessment recovery was previously raised. The assessment cost recovery is \$35,000. The estimated total cost of the sanitary sewer and services is \$62,000. The difference of \$27,000 would be funded as part of the proposed general obligation financing.

The proposal to use part of the excavation from Pond 12 to create a tennis/basketball site in the southeast corner of Pleasantview Park is premature. The city is still in the process of comprehensive planning for the development of Pleasantview Park.

Recommendation

It is recommended that the council order this improvement as stated in the resolution.

BAI

lw

RESOLUTION

WHEREAS, after due notice of public hearing on the construction of storm sewer, sanitary sewer and services, and stormwater ponding areas as part of Highwood - McKnight Outlet, City Project 90-10 a hearing on said improvement in accordance with the notice duly given was duly held on February 24, 1992, and the council has heard all persons desiring to be heard on the matter and has fully considered the same;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF MAPLEWOOD, MINNESOTA, as follows:

1. That it is advisable, expedient and necessary that the City of Maplewood construct storm sewer, sanitary sewer and services, and stormwater ponding areas as part of Highwood - McKnight Outlet, City Project 90-10 as described in the notice of hearing thereof, and orders the same to be made.

2. The city engineer is designated engineer for this improvement and is hereby directed to prepare final plans and specifications for the making of said improvement.

3. The project budget is amended to \$914,000. The project financing shall be as follows:

Special assessments	\$304,600
Cash payment from Gonyea	57,600
Payment from Ramsey County	20,000
General obligation	<u>531,800</u>

TOTAL 914,000

**MAILING LIST
PUBLIC HEARING
HIGHWOOD/McKNIGHT OUTLET
PROJECT 90-10
FEBRUARY 24, 1992
8 P.M.**

NOTICE OF HEARING OF IMPROVEMENT

TO WHOM IT MAY CONCERN:

WHEREAS, the City Council of the City of Maplewood, Ramsey County, Minnesota, deems it necessary and expedient that the improvement hereinafter described, be made,

NOW, THEREFORE, notice is hereby given that the city council will hold a public hearing on said improvement at the following time and place within the said city:

DATE: February 24, 1992

TIME: 8 p.m.

LOCATION: City Hall
Council Chambers
1830 East County Road B
Maplewood, Minnesota 55109

The general nature of the improvement is the construction of Project 90-10, McKnight/Highwood outlet, including construction of storm sewer and pond acquisition and development, together with sanitary sewer main, in the following-described areas:

Generally bounded by Linwood to Boxwood and McKnight to Ferndale

THE TOTAL ESTIMATED COST OF SAID IMPROVEMENT IS \$914,000.

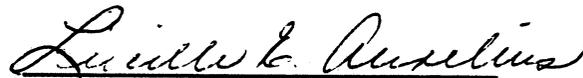
It is proposed to assess every lot, piece or parcel of land benefited by said improvement whether abutting thereon or not, based upon benefits received without regard to cash valuation.

Persons desiring to be heard with reference to the proposed improvement should be present at this hearing.

This council proposes to proceed under the authority granted by Chapter 429 MSA.

Dated this 10th day of February, 1992.

BY ORDER OF THE CITY COUNCIL



Lucille E. Aurelius, City Clerk
City of Maplewood Minnesota

Publish: Maplewood Review
February 12, 1992 and February 19, 1992



AFFIDAVIT OF MAILING ASSESSMENT HEARING NOTICE

STATE OF MINNESOTA)
) SS.
COUNCIL OF MAPLEWOOD)

Lucille E. Aurelius, being first duly sworn, deposed and says:

I am a United States citizen, over 21 years of age, and the city clerk of the City of Maplewood, Minnesota.

On February 12, 1992, acting on behalf of the said city, I deposited in the United States Post Office at the City of North St. Paul, Minnesota, copies of the attached notice of hearing on proposed Project 90-10, Highwood/McKnight Outlet, enclosed in sealed envelopes, with postage thereon fully prepaid, addressed to the following persons at the addresses appearing on the attached copy of the mailing list.

There is delivery service by United States mail between the place of mailing and the places so addressed.

Lucille E. Aurelius
Signature

Subscribed and sworn to before me this 12TH day of FEBRUARY, 1992.

Walter M. Geissler
Notary Public



PROJECT NO. 90-10 HIGHWOOD/McKNIGHT OUTLET
PROJECT SUMMARY

SEC-13-T-28-R-22-QQ-13 48 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****48.000	UNIT AT	**\$525.000 EA. =	**\$25,200.00
STORM SEWER PARK	*****0.000	SF AT	****\$0.025 EA. =	*****\$0.00

SEC-13-T-28-R-22-QQ-21 17 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****34.000	UNIT AT	**\$525.000 EA. =	**\$17,850.00
STORM SEWER PARK	*****0.000	SF AT	****\$0.025 EA. =	*****\$0.00

SEC-13-T-28-R-22-QQ-22 43 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****46.000	UNIT AT	**\$525.000 EA. =	**\$24,150.00
STORM SEWER PARK	***103,914.000	SF AT	****\$0.025 EA. =	***\$2,597.85

SEC-13-T-28-R-22-QQ-23 86 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****84.000	UNIT AT	**\$525.000 EA. =	**\$44,100.00
STORM SEWER PARK	***227,538.000	SF AT	****\$0.025 EA. =	***\$5,688.45

SEC-13-T-28-R-22-QQ-24 8 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****16.000	UNIT AT	**\$525.000 EA. =	***\$8,400.00
STORM SEWER PARK	*****0.000	SF AT	****\$0.025 EA. =	*****\$0.00

SEC-13-T-28-R-22-QQ-31 74 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****85.000	UNIT AT	**\$525.000 EA. =	**\$44,625.00
STORM SEWER PARK	*****0.000	SF AT	****\$0.025 EA. =	*****\$0.00

SEC-13-T-28-R-22-QQ-32 36 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****7.000	UNIT AT	\$2,750.000 EA. =	***\$19,250.00
SANITARY SERVICE	*****7.000	EA AT	**\$750.000 EA. =	***\$5,250.00
STORM SEWER	*****62.000	UNIT AT	**\$525.000 EA. =	***\$32,550.00
STORM SEWER PARK	*****0.000	SF AT	****\$0.025 EA. =	*****\$0.00

SEC-13-T-28-R-22-QQ-33 68 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****3.000	UNIT AT	\$2,750.000 EA. =	***\$8,250.00
SANITARY SERVICE	*****3.000	EA AT	**\$750.000 EA. =	***\$2,250.00
STORM SEWER	*****68.000	UNIT AT	**\$525.000 EA. =	***\$35,700.00
STORM SEWER PARK	*****0.000	SF AT	****\$0.025 EA. =	*****\$0.00

SEC-13-T-28-R-22-QQ-34 6 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****5.000	UNIT AT	**\$525.000 EA. =	***\$2,625.00
STORM SEWER PARK	***310,800.000	SF AT	****\$0.025 EA. =	***\$7,770.00

SEC-13-T-28-R-22-QQ-42 36 PARCELS ASSESSED

ITEM	QUANTITY	PER	RATE	ASSESSMENT
SANITARY MAIN	*****0.000	UNIT AT	\$2,750.000 EA. =	*****\$0.00
SANITARY SERVICE	*****0.000	EA AT	**\$750.000 EA. =	*****\$0.00
STORM SEWER	*****36.000	UNIT AT	**\$525.000 EA. =	***\$18,900.00
STORM SEWER PARK	*****0.000	SF AT	****\$0.025 EA. =	*****\$0.00

PROJECT NO. 90-10 HIGHWOOD/McKNIGHT OUTLET
PROJECT SUMMARY

GRAND TOTALS 422 PARCELS ASSESSED

===== ITEM	QUANTITY		PER	RATE	ASSESSMENT
SANITARY MAIN	*****10.000	UNIT	AT	\$2,750.000 EA. =	**\$27,500.00
SANITARY SERVICE	*****10.000	EA	AT	**\$750.000 EA. =	***\$7,500.00
STORM SEWER	*****484.000	UNIT	AT	**\$525.000 EA. =	**\$254,100.00
STORM SEWER PARK	***642,252.000	SF	AT	****\$0.025 EA. =	**\$16,056.30
TOTAL AMOUNT ASSESSED FOR THIS PROJECT =					**\$305,156.30

D/P NO. 6194

WMG

PUBLIC HEARING

QUANTITY CHECK LIST

COL. 1) = SANITARY MAIN - UNIT
 COL. 2) = SANITARY SERVICE - EA
 COL. 3) = STORM SEWER - UNIT
 COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-13-0002	0.00	0.00	1.00	0.00
13-28-22-13-0003	0.00	0.00	1.00	0.00
13-28-22-13-0004	0.00	0.00	1.00	0.00
13-28-22-13-0005	0.00	0.00	1.00	0.00
13-28-22-13-0009	0.00	0.00	1.00	0.00
13-28-22-13-0010	0.00	0.00	1.00	0.00
13-28-22-13-0011	0.00	0.00	1.00	0.00
13-28-22-13-0012	0.00	0.00	1.00	0.00
13-28-22-13-0013	0.00	0.00	1.00	0.00
13-28-22-13-0014	0.00	0.00	1.00	0.00
13-28-22-13-0015	0.00	0.00	1.00	0.00
13-28-22-13-0016	0.00	0.00	1.00	0.00
13-28-22-13-0017	0.00	0.00	1.00	0.00
13-28-22-13-0018	0.00	0.00	1.00	0.00
13-28-22-13-0019	0.00	0.00	1.00	0.00
13-28-22-13-0020	0.00	0.00	1.00	0.00
13-28-22-13-0023	0.00	0.00	1.00	0.00
13-28-22-13-0024	0.00	0.00	1.00	0.00
13-28-22-13-0025	0.00	0.00	1.00	0.00
13-28-22-13-0026	0.00	0.00	1.00	0.00
13-28-22-13-0027	0.00	0.00	1.00	0.00
13-28-22-13-0028	0.00	0.00	1.00	0.00
13-28-22-13-0029	0.00	0.00	1.00	0.00
13-28-22-13-0030	0.00	0.00	1.00	0.00
13-28-22-13-0031	0.00	0.00	1.00	0.00
13-28-22-13-0032	0.00	0.00	1.00	0.00
13-28-22-13-0033	0.00	0.00	1.00	0.00
13-28-22-13-0035	0.00	0.00	1.00	0.00
13-28-22-13-0036	0.00	0.00	1.00	0.00
13-28-22-13-0037	0.00	0.00	1.00	0.00
13-28-22-13-0038	0.00	0.00	1.00	0.00
13-28-22-13-0039	0.00	0.00	1.00	0.00
13-28-22-13-0040	0.00	0.00	1.00	0.00
13-28-22-13-0041	0.00	0.00	1.00	0.00
13-28-22-13-0043	0.00	0.00	1.00	0.00
13-28-22-13-0044	0.00	0.00	1.00	0.00
13-28-22-13-0045	0.00	0.00	1.00	0.00
13-28-22-13-0046	0.00	0.00	1.00	0.00
13-28-22-13-0047	0.00	0.00	1.00	0.00
13-28-22-13-0048	0.00	0.00	1.00	0.00
13-28-22-13-0049	0.00	0.00	1.00	0.00
13-28-22-13-0050	0.00	0.00	1.00	0.00
13-28-22-13-0051	0.00	0.00	1.00	0.00
13-28-22-13-0052	0.00	0.00	1.00	0.00
13-28-22-13-0053	0.00	0.00	1.00	0.00
13-28-22-13-0054	0.00	0.00	1.00	0.00
13-28-22-13-0055	0.00	0.00	1.00	0.00
13-28-22-13-0082	0.00	0.00	1.00	0.00
13-28-22-21-0003	0.00	0.00	1.00	0.00
13-28-22-21-0005	0.00	0.00	14.00	0.00
13-28-22-21-0006	0.00	0.00	5.00	0.00

D/P NO. 6194

WMG

PUBLIC HEARING

QUANTITY CHECK LIST

COL. 1) = SANITARY MAIN - UNIT
 COL. 2) = SANITARY SERVICE - EA
 COL. 3) = STORM SEWER - UNIT
 COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-21-0007	0.00	0.00	1.00	0.00
13-28-22-21-0008	0.00	0.00	1.00	0.00
13-28-22-21-0009	0.00	0.00	1.00	0.00
13-28-22-21-0010	0.00	0.00	1.00	0.00
13-28-22-21-0011	0.00	0.00	1.00	0.00
13-28-22-21-0012	0.00	0.00	1.00	0.00
13-28-22-21-0013	0.00	0.00	1.00	0.00
13-28-22-21-0014	0.00	0.00	1.00	0.00
13-28-22-21-0015	0.00	0.00	1.00	0.00
13-28-22-21-0016	0.00	0.00	1.00	0.00
13-28-22-21-0017	0.00	0.00	1.00	0.00
13-28-22-21-0018	0.00	0.00	1.00	0.00
13-28-22-21-0019	0.00	0.00	1.00	0.00
13-28-22-21-0020	0.00	0.00	1.00	0.00
13-28-22-22-0030	0.00	0.00	1.00	0.00
13-28-22-22-0033	0.00	0.00	1.00	0.00
13-28-22-22-0034	0.00	0.00	1.00	0.00
13-28-22-22-0035	0.00	0.00	1.00	0.00
13-28-22-22-0036	0.00	0.00	1.00	0.00
13-28-22-22-0037	0.00	0.00	1.00	0.00
13-28-22-22-0038	0.00	0.00	1.00	0.00
13-28-22-22-0041	0.00	0.00	1.00	0.00
13-28-22-22-0042	0.00	0.00	1.00	0.00
13-28-22-22-0043	0.00	0.00	1.00	0.00
13-28-22-22-0044	0.00	0.00	1.00	0.00
13-28-22-22-0045	0.00	0.00	1.00	0.00
13-28-22-22-0046	0.00	0.00	1.00	0.00
13-28-22-22-0047	0.00	0.00	1.00	0.00
13-28-22-22-0048	0.00	0.00	1.00	0.00
13-28-22-22-0049	0.00	0.00	1.00	0.00
13-28-22-22-0050	0.00	0.00	1.00	0.00
13-28-22-22-0051	0.00	0.00	1.00	0.00
13-28-22-22-0052	0.00	0.00	1.00	0.00
13-28-22-22-0053	0.00	0.00	1.00	0.00
13-28-22-22-0055	0.00	0.00	1.00	0.00
13-28-22-22-0056	0.00	0.00	1.00	0.00
13-28-22-22-0057	0.00	0.00	1.00	0.00
13-28-22-22-0058	0.00	0.00	1.00	0.00
13-28-22-22-0059	0.00	0.00	1.00	0.00
13-28-22-22-0060	0.00	0.00	1.00	0.00
13-28-22-22-0061	0.00	0.00	1.00	0.00
13-28-22-22-0062	0.00	0.00	1.00	0.00
13-28-22-22-0063	0.00	0.00	1.00	0.00
13-28-22-22-0064	0.00	0.00	1.00	0.00
13-28-22-22-0067	0.00	0.00	0.00	103914.00
13-28-22-22-0069	0.00	0.00	4.00	0.00
13-28-22-22-0070	0.00	0.00	1.00	0.00
13-28-22-22-0074	0.00	0.00	1.00	0.00
13-28-22-22-0075	0.00	0.00	1.00	0.00
13-28-22-22-0076	0.00	0.00	2.00	0.00
13-28-22-22-0077	0.00	0.00	1.00	0.00

D/P NO. 6194

WMG

PUBLIC HEARING

QUANTITY CHECK LIST

COL. 1) = SANITARY MAIN - UNIT
 COL. 2) = SANITARY SERVICE - EA
 COL. 3) = STORM SEWER - UNIT
 COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-22-0078	0.00	0.00	1.00	0.00
13-28-22-22-0079	0.00	0.00	1.00	0.00
13-28-22-22-0080	0.00	0.00	1.00	0.00
13-28-22-22-0081	0.00	0.00	1.00	0.00
13-28-22-22-0082	0.00	0.00	1.00	0.00
13-28-22-22-0083	0.00	0.00	1.00	0.00
13-28-22-23-0002	0.00	0.00	1.00	0.00
13-28-22-23-0003	0.00	0.00	1.00	0.00
13-28-22-23-0004	0.00	0.00	1.00	0.00
13-28-22-23-0005	0.00	0.00	1.00	0.00
13-28-22-23-0009	0.00	0.00	1.00	0.00
13-28-22-23-0010	0.00	0.00	1.00	0.00
13-28-22-23-0011	0.00	0.00	1.00	0.00
13-28-22-23-0012	0.00	0.00	1.00	0.00
13-28-22-23-0013	0.00	0.00	1.00	0.00
13-28-22-23-0014	0.00	0.00	1.00	0.00
13-28-22-23-0015	0.00	0.00	1.00	0.00
13-28-22-23-0016	0.00	0.00	1.00	0.00
13-28-22-23-0017	0.00	0.00	1.00	0.00
13-28-22-23-0018	0.00	0.00	1.00	0.00
13-28-22-23-0019	0.00	0.00	1.00	0.00
13-28-22-23-0020	0.00	0.00	1.00	0.00
13-28-22-23-0021	0.00	0.00	1.00	0.00
13-28-22-23-0022	0.00	0.00	1.00	0.00
13-28-22-23-0023	0.00	0.00	1.00	0.00
13-28-22-23-0024	0.00	0.00	1.00	0.00
13-28-22-23-0025	0.00	0.00	1.00	0.00
13-28-22-23-0026	0.00	0.00	1.00	0.00
13-28-22-23-0027	0.00	0.00	1.00	0.00
13-28-22-23-0028	0.00	0.00	1.00	0.00
13-28-22-23-0029	0.00	0.00	1.00	0.00
13-28-22-23-0030	0.00	0.00	1.00	0.00
13-28-22-23-0031	0.00	0.00	1.00	0.00
13-28-22-23-0032	0.00	0.00	1.00	0.00
13-28-22-23-0033	0.00	0.00	1.00	0.00
13-28-22-23-0035	0.00	0.00	1.00	0.00
13-28-22-23-0036	0.00	0.00	1.00	0.00
13-28-22-23-0037	0.00	0.00	1.00	0.00
13-28-22-23-0038	0.00	0.00	1.00	0.00
13-28-22-23-0039	0.00	0.00	1.00	0.00
13-28-22-23-0040	0.00	0.00	1.00	0.00
13-28-22-23-0041	0.00	0.00	1.00	0.00
13-28-22-23-0042	0.00	0.00	1.00	0.00
13-28-22-23-0043	0.00	0.00	1.00	0.00
13-28-22-23-0044	0.00	0.00	1.00	0.00
13-28-22-23-0045	0.00	0.00	1.00	0.00
13-28-22-23-0046	0.00	0.00	1.00	0.00
13-28-22-23-0047	0.00	0.00	1.00	0.00
13-28-22-23-0048	0.00	0.00	1.00	0.00
13-28-22-23-0049	0.00	0.00	1.00	0.00
13-28-22-23-0050	0.00	0.00	1.00	0.00

D/P NO. 6194
QUANTITY CHECK LIST

WMG

PUBLIC HEARING

COL. 1) = SANITARY MAIN - UNIT
COL. 2) = SANITARY SERVICE - EA
COL. 3) = STORM SEWER - UNIT
COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-23-0051	0.00	0.00	1.00	0.00
13-28-22-23-0052	0.00	0.00	1.00	0.00
13-28-22-23-0053	0.00	0.00	1.00	0.00
13-28-22-23-0054	0.00	0.00	0.00	90899.00
13-28-22-23-0055	0.00	0.00	0.00	136639.00
13-28-22-23-0057	0.00	0.00	1.00	0.00
13-28-22-23-0058	0.00	0.00	1.00	0.00
13-28-22-23-0059	0.00	0.00	1.00	0.00
13-28-22-23-0060	0.00	0.00	1.00	0.00
13-28-22-23-0061	0.00	0.00	1.00	0.00
13-28-22-23-0062	0.00	0.00	1.00	0.00
13-28-22-23-0063	0.00	0.00	1.00	0.00
13-28-22-23-0064	0.00	0.00	1.00	0.00
13-28-22-23-0065	0.00	0.00	1.00	0.00
13-28-22-23-0066	0.00	0.00	1.00	0.00
13-28-22-23-0067	0.00	0.00	1.00	0.00
13-28-22-23-0068	0.00	0.00	1.00	0.00
13-28-22-23-0069	0.00	0.00	1.00	0.00
13-28-22-23-0070	0.00	0.00	1.00	0.00
13-28-22-23-0071	0.00	0.00	1.00	0.00
13-28-22-23-0072	0.00	0.00	1.00	0.00
13-28-22-23-0073	0.00	0.00	1.00	0.00
13-28-22-23-0075	0.00	0.00	1.00	0.00
13-28-22-23-0076	0.00	0.00	1.00	0.00
13-28-22-23-0077	0.00	0.00	1.00	0.00
13-28-22-23-0078	0.00	0.00	1.00	0.00
13-28-22-23-0079	0.00	0.00	1.00	0.00
13-28-22-23-0080	0.00	0.00	1.00	0.00
13-28-22-23-0081	0.00	0.00	1.00	0.00
13-28-22-23-0082	0.00	0.00	1.00	0.00
13-28-22-23-0083	0.00	0.00	1.00	0.00
13-28-22-23-0084	0.00	0.00	1.00	0.00
13-28-22-23-0085	0.00	0.00	1.00	0.00
13-28-22-23-0086	0.00	0.00	1.00	0.00
13-28-22-23-0087	0.00	0.00	1.00	0.00
13-28-22-23-0088	0.00	0.00	1.00	0.00
13-28-22-23-0089	0.00	0.00	1.00	0.00
13-28-22-23-0090	0.00	0.00	1.00	0.00
13-28-22-23-0091	0.00	0.00	1.00	0.00
13-28-22-23-0092	0.00	0.00	1.00	0.00
13-28-22-23-0093	0.00	0.00	1.00	0.00
13-28-22-24-0002	0.00	0.00	1.00	0.00
13-28-22-24-0003	0.00	0.00	1.00	0.00
13-28-22-24-0004	0.00	0.00	1.00	0.00
13-28-22-24-0005	0.00	0.00	7.00	0.00
13-28-22-24-0006	0.00	0.00	1.00	0.00
13-28-22-24-0007	0.00	0.00	1.00	0.00
13-28-22-24-0008	0.00	0.00	1.00	0.00
13-28-22-24-0010	0.00	0.00	3.00	0.00
13-28-22-31-0003	0.00	0.00	1.00	0.00
13-28-22-31-0004	0.00	0.00	1.00	0.00

D/P NO. 6194

WMG

PUBLIC HEARING

QUANTITY CHECK LIST

COL. 1) = SANITARY MAIN - UNIT
 COL. 2) = SANITARY SERVICE - EA
 COL. 3) = STORM SEWER - UNIT
 COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-31-0005	0.00	0.00	1.00	0.00
13-28-22-31-0006	0.00	0.00	1.00	0.00
13-28-22-31-0007	0.00	0.00	1.00	0.00
13-28-22-31-0008	0.00	0.00	1.00	0.00
13-28-22-31-0009	0.00	0.00	1.00	0.00
13-28-22-31-0010	0.00	0.00	1.00	0.00
13-28-22-31-0011	0.00	0.00	1.00	0.00
13-28-22-31-0012	0.00	0.00	1.00	0.00
13-28-22-31-0013	0.00	0.00	1.00	0.00
13-28-22-31-0014	0.00	0.00	1.00	0.00
13-28-22-31-0015	0.00	0.00	1.00	0.00
13-28-22-31-0016	0.00	0.00	1.00	0.00
13-28-22-31-0017	0.00	0.00	1.00	0.00
13-28-22-31-0018	0.00	0.00	1.00	0.00
13-28-22-31-0019	0.00	0.00	1.00	0.00
13-28-22-31-0020	0.00	0.00	1.00	0.00
13-28-22-31-0021	0.00	0.00	1.00	0.00
13-28-22-31-0022	0.00	0.00	1.00	0.00
13-28-22-31-0023	0.00	0.00	1.00	0.00
13-28-22-31-0024	0.00	0.00	1.00	0.00
13-28-22-31-0025	0.00	0.00	1.00	0.00
13-28-22-31-0026	0.00	0.00	1.00	0.00
13-28-22-31-0027	0.00	0.00	1.00	0.00
13-28-22-31-0028	0.00	0.00	1.00	0.00
13-28-22-31-0029	0.00	0.00	1.00	0.00
13-28-22-31-0030	0.00	0.00	1.00	0.00
13-28-22-31-0031	0.00	0.00	1.00	0.00
13-28-22-31-0032	0.00	0.00	1.00	0.00
13-28-22-31-0033	0.00	0.00	1.00	0.00
13-28-22-31-0034	0.00	0.00	1.00	0.00
13-28-22-31-0035	0.00	0.00	1.00	0.00
13-28-22-31-0036	0.00	0.00	1.00	0.00
13-28-22-31-0037	0.00	0.00	1.00	0.00
13-28-22-31-0038	0.00	0.00	1.00	0.00
13-28-22-31-0039	0.00	0.00	1.00	0.00
13-28-22-31-0040	0.00	0.00	1.00	0.00
13-28-22-31-0041	0.00	0.00	1.00	0.00
13-28-22-31-0042	0.00	0.00	1.00	0.00
13-28-22-31-0043	0.00	0.00	1.00	0.00
13-28-22-31-0044	0.00	0.00	1.00	0.00
13-28-22-31-0045	0.00	0.00	1.00	0.00
13-28-22-31-0046	0.00	0.00	1.00	0.00
13-28-22-31-0047	0.00	0.00	1.00	0.00
13-28-22-31-0048	0.00	0.00	1.00	0.00
13-28-22-31-0049	0.00	0.00	1.00	0.00
13-28-22-31-0050	0.00	0.00	1.00	0.00
13-28-22-31-0057	0.00	0.00	1.00	0.00
13-28-22-31-0058	0.00	0.00	1.00	0.00
13-28-22-31-0059	0.00	0.00	1.00	0.00
13-28-22-31-0060	0.00	0.00	1.00	0.00
13-28-22-31-0065	0.00	0.00	1.00	0.00

D/P NO. 6194

WMG

PUBLIC HEARING

QUANTITY CHECK LIST

COL. 1) = SANITARY MAIN - UNIT
 COL. 2) = SANITARY SERVICE - EA
 COL. 3) = STORM SEWER - UNIT
 COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-31-0067	0.00	0.00	9.00	0.00
13-28-22-31-0068	0.00	0.00	4.00	0.00
13-28-22-31-0069	0.00	0.00	1.00	0.00
13-28-22-31-0070	0.00	0.00	1.00	0.00
13-28-22-31-0071	0.00	0.00	1.00	0.00
13-28-22-31-0072	0.00	0.00	1.00	0.00
13-28-22-31-0073	0.00	0.00	1.00	0.00
13-28-22-31-0075	0.00	0.00	1.00	0.00
13-28-22-31-0076	0.00	0.00	1.00	0.00
13-28-22-31-0077	0.00	0.00	1.00	0.00
13-28-22-31-0078	0.00	0.00	1.00	0.00
13-28-22-31-0079	0.00	0.00	1.00	0.00
13-28-22-31-0080	0.00	0.00	1.00	0.00
13-28-22-31-0082	0.00	0.00	1.00	0.00
13-28-22-31-0083	0.00	0.00	1.00	0.00
13-28-22-31-0084	0.00	0.00	1.00	0.00
13-28-22-31-0085	0.00	0.00	1.00	0.00
13-28-22-31-0086	0.00	0.00	1.00	0.00
13-28-22-31-0087	0.00	0.00	1.00	0.00
13-28-22-31-0088	0.00	0.00	1.00	0.00
13-28-22-31-0089	0.00	0.00	1.00	0.00
13-28-22-32-0002	0.00	0.00	1.00	0.00
13-28-22-32-0003	0.00	0.00	1.00	0.00
13-28-22-32-0005	0.00	0.00	22.00	0.00
13-28-22-32-0006	0.00	0.00	1.00	0.00
13-28-22-32-0008	0.00	0.00	1.00	0.00
13-28-22-32-0009	0.00	0.00	1.00	0.00
13-28-22-32-0010	0.00	0.00	1.00	0.00
13-28-22-32-0011	0.00	0.00	1.00	0.00
13-28-22-32-0012	0.00	0.00	1.00	0.00
13-28-22-32-0013	2.00	2.00	2.00	0.00
13-28-22-32-0014	2.00	2.00	2.00	0.00
13-28-22-32-0016	0.00	0.00	3.00	0.00
13-28-22-32-0019	1.00	1.00	1.00	0.00
13-28-22-32-0020	2.00	2.00	2.00	0.00
13-28-22-32-0021	0.00	0.00	1.00	0.00
13-28-22-32-0022	0.00	0.00	1.00	0.00
13-28-22-32-0023	0.00	0.00	1.00	0.00
13-28-22-32-0024	0.00	0.00	1.00	0.00
13-28-22-32-0025	0.00	0.00	1.00	0.00
13-28-22-32-0026	0.00	0.00	1.00	0.00
13-28-22-32-0027	0.00	0.00	1.00	0.00
13-28-22-32-0028	0.00	0.00	1.00	0.00
13-28-22-32-0029	0.00	0.00	1.00	0.00
13-28-22-32-0030	0.00	0.00	1.00	0.00
13-28-22-32-0031	0.00	0.00	1.00	0.00
13-28-22-32-0032	0.00	0.00	1.00	0.00
13-28-22-32-0033	0.00	0.00	1.00	0.00
13-28-22-32-0034	0.00	0.00	1.00	0.00
13-28-22-32-0035	0.00	0.00	1.00	0.00
13-28-22-32-0036	0.00	0.00	1.00	0.00

D/P NO. 6194
QUANTITY CHECK LIST

WMG

PUBLIC HEARING

COL. 1) = SANITARY MAIN - UNIT
 COL. 2) = SANITARY SERVICE - EA
 COL. 3) = STORM SEWER - UNIT
 COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-32-0037	0.00	0.00	1.00	0.00
13-28-22-32-0038	0.00	0.00	1.00	0.00
13-28-22-32-0039	0.00	0.00	1.00	0.00
13-28-22-32-0040	0.00	0.00	1.00	0.00
13-28-22-32-0041	0.00	0.00	1.00	0.00
13-28-22-32-0042	0.00	0.00	1.00	0.00
13-28-22-33-0003	1.00	1.00	1.00	0.00
13-28-22-33-0004	1.00	1.00	1.00	0.00
13-28-22-33-0005	1.00	1.00	1.00	0.00
13-28-22-33-0006	0.00	0.00	1.00	0.00
13-28-22-33-0007	0.00	0.00	1.00	0.00
13-28-22-33-0008	0.00	0.00	1.00	0.00
13-28-22-33-0009	0.00	0.00	1.00	0.00
13-28-22-33-0010	0.00	0.00	1.00	0.00
13-28-22-33-0011	0.00	0.00	1.00	0.00
13-28-22-33-0012	0.00	0.00	1.00	0.00
13-28-22-33-0013	0.00	0.00	1.00	0.00
13-28-22-33-0014	0.00	0.00	1.00	0.00
13-28-22-33-0015	0.00	0.00	1.00	0.00
13-28-22-33-0016	0.00	0.00	1.00	0.00
13-28-22-33-0017	0.00	0.00	1.00	0.00
13-28-22-33-0018	0.00	0.00	1.00	0.00
13-28-22-33-0019	0.00	0.00	1.00	0.00
13-28-22-33-0020	0.00	0.00	1.00	0.00
13-28-22-33-0021	0.00	0.00	1.00	0.00
13-28-22-33-0022	0.00	0.00	1.00	0.00
13-28-22-33-0023	0.00	0.00	1.00	0.00
13-28-22-33-0024	0.00	0.00	1.00	0.00
13-28-22-33-0025	0.00	0.00	1.00	0.00
13-28-22-33-0026	0.00	0.00	1.00	0.00
13-28-22-33-0027	0.00	0.00	1.00	0.00
13-28-22-33-0028	0.00	0.00	1.00	0.00
13-28-22-33-0029	0.00	0.00	1.00	0.00
13-28-22-33-0030	0.00	0.00	1.00	0.00
13-28-22-33-0031	0.00	0.00	1.00	0.00
13-28-22-33-0032	0.00	0.00	1.00	0.00
13-28-22-33-0033	0.00	0.00	1.00	0.00
13-28-22-33-0034	0.00	0.00	1.00	0.00
13-28-22-33-0035	0.00	0.00	1.00	0.00
13-28-22-33-0036	0.00	0.00	1.00	0.00
13-28-22-33-0037	0.00	0.00	1.00	0.00
13-28-22-33-0038	0.00	0.00	1.00	0.00
13-28-22-33-0039	0.00	0.00	1.00	0.00
13-28-22-33-0040	0.00	0.00	1.00	0.00
13-28-22-33-0041	0.00	0.00	1.00	0.00
13-28-22-33-0051	0.00	0.00	1.00	0.00
13-28-22-33-0052	0.00	0.00	1.00	0.00
13-28-22-33-0053	0.00	0.00	1.00	0.00
13-28-22-33-0054	0.00	0.00	1.00	0.00
13-28-22-33-0055	0.00	0.00	1.00	0.00
13-28-22-33-0056	0.00	0.00	1.00	0.00

D/P NO. 6194

WMG

PUBLIC HEARING

QUANTITY CHECK LIST

COL. 1) = SANITARY MAIN - UNIT
 COL. 2) = SANITARY SERVICE - EA
 COL. 3) = STORM SEWER - UNIT
 COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-33-0057	0.00	0.00	1.00	0.00
13-28-22-33-0058	0.00	0.00	1.00	0.00
13-28-22-33-0059	0.00	0.00	1.00	0.00
13-28-22-33-0060	0.00	0.00	1.00	0.00
13-28-22-33-0061	0.00	0.00	1.00	0.00
13-28-22-33-0062	0.00	0.00	1.00	0.00
13-28-22-33-0063	0.00	0.00	1.00	0.00
13-28-22-33-0064	0.00	0.00	1.00	0.00
13-28-22-33-0065	0.00	0.00	1.00	0.00
13-28-22-33-0066	0.00	0.00	1.00	0.00
13-28-22-33-0069	0.00	0.00	1.00	0.00
13-28-22-33-0070	0.00	0.00	1.00	0.00
13-28-22-33-0071	0.00	0.00	1.00	0.00
13-28-22-33-0072	0.00	0.00	1.00	0.00
13-28-22-33-0073	0.00	0.00	1.00	0.00
13-28-22-33-0074	0.00	0.00	1.00	0.00
13-28-22-33-0075	0.00	0.00	1.00	0.00
13-28-22-33-0076	0.00	0.00	1.00	0.00
13-28-22-33-0077	0.00	0.00	1.00	0.00
13-28-22-33-0078	0.00	0.00	1.00	0.00
13-28-22-33-0079	0.00	0.00	1.00	0.00
13-28-22-33-0080	0.00	0.00	1.00	0.00
13-28-22-33-0081	0.00	0.00	1.00	0.00
13-28-22-34-0001	0.00	0.00	0.00	310800.00
13-28-22-34-0003	0.00	0.00	1.00	0.00
13-28-22-34-0004	0.00	0.00	1.00	0.00
13-28-22-34-0005	0.00	0.00	1.00	0.00
13-28-22-34-0006	0.00	0.00	1.00	0.00
13-28-22-34-0007	0.00	0.00	1.00	0.00
13-28-22-42-0004	0.00	0.00	1.00	0.00
13-28-22-42-0005	0.00	0.00	1.00	0.00
13-28-22-42-0006	0.00	0.00	1.00	0.00
13-28-22-42-0007	0.00	0.00	1.00	0.00
13-28-22-42-0008	0.00	0.00	1.00	0.00
13-28-22-42-0009	0.00	0.00	1.00	0.00
13-28-22-42-0010	0.00	0.00	1.00	0.00
13-28-22-42-0011	0.00	0.00	1.00	0.00
13-28-22-42-0012	0.00	0.00	1.00	0.00
13-28-22-42-0013	0.00	0.00	1.00	0.00
13-28-22-42-0014	0.00	0.00	1.00	0.00
13-28-22-42-0015	0.00	0.00	1.00	0.00
13-28-22-42-0016	0.00	0.00	1.00	0.00
13-28-22-42-0017	0.00	0.00	1.00	0.00
13-28-22-42-0018	0.00	0.00	1.00	0.00
13-28-22-42-0019	0.00	0.00	1.00	0.00
13-28-22-42-0020	0.00	0.00	1.00	0.00
13-28-22-42-0021	0.00	0.00	1.00	0.00
13-28-22-42-0022	0.00	0.00	1.00	0.00
13-28-22-42-0023	0.00	0.00	1.00	0.00
13-28-22-42-0024	0.00	0.00	1.00	0.00
13-28-22-42-0025	0.00	0.00	1.00	0.00

D/P NO. 6194

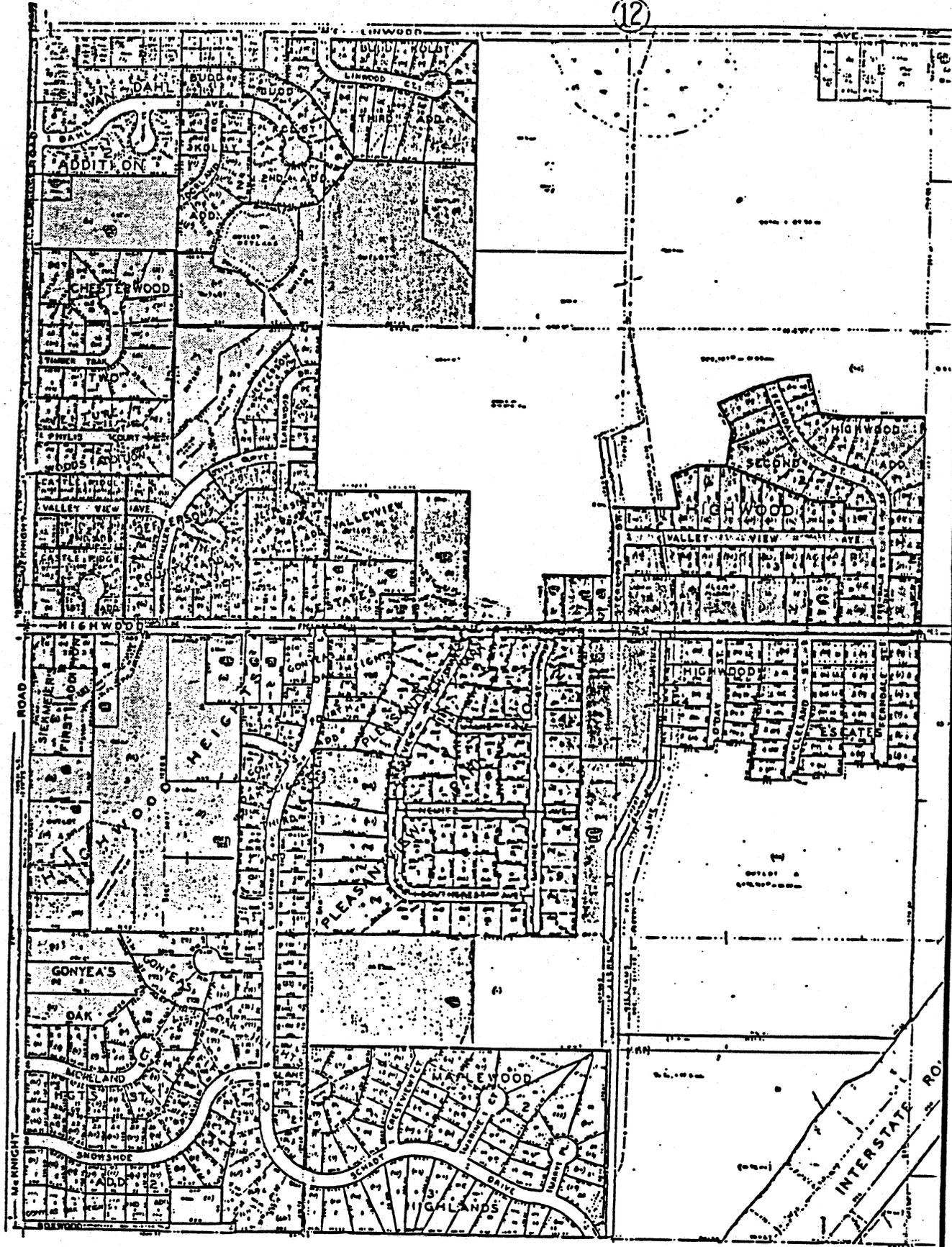
WMG

PUBLIC HEARING

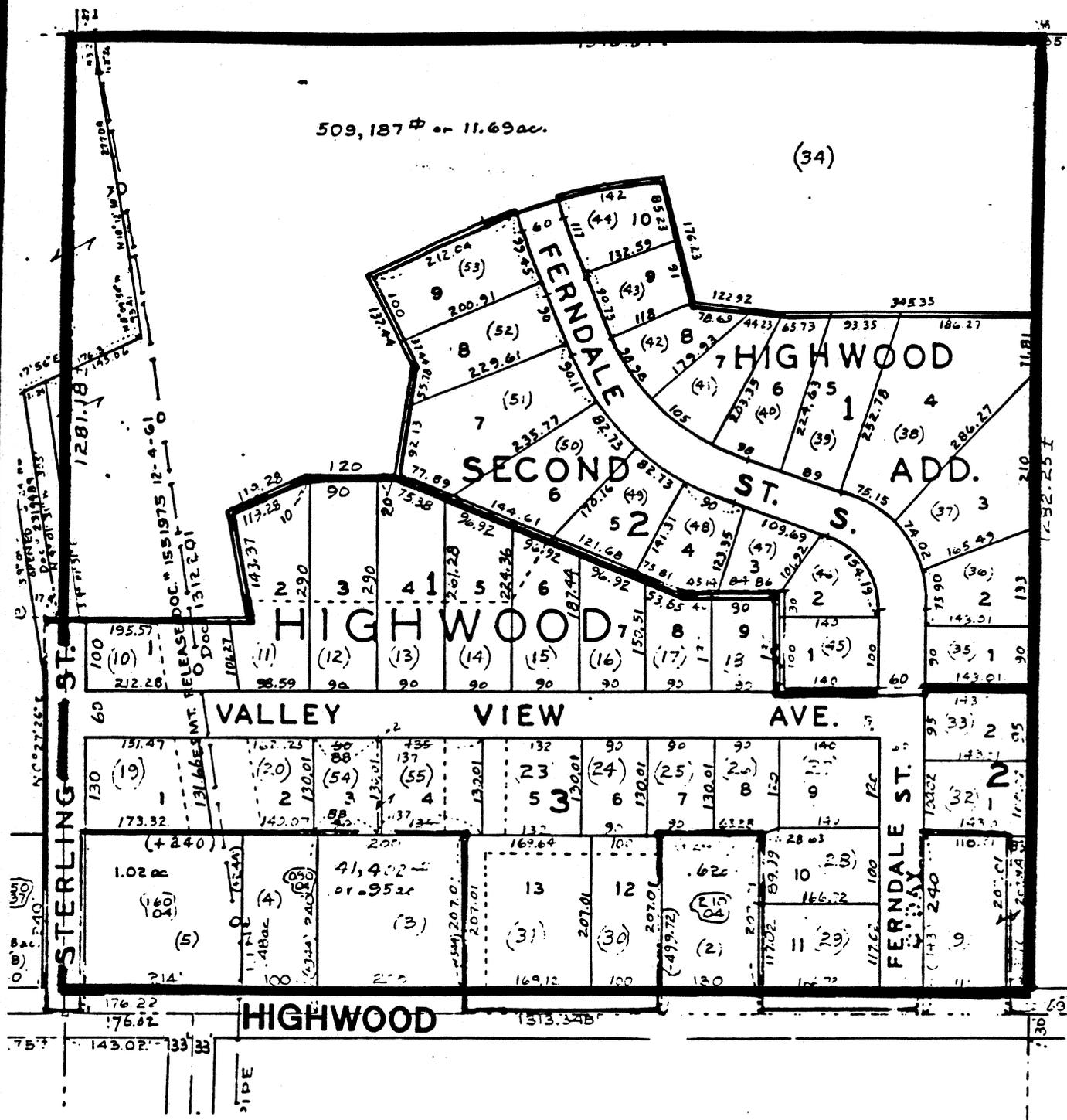
QUANTITY CHECK LIST

COL. 1) = SANITARY MAIN - UNIT
COL. 2) = SANITARY SERVICE - EA
COL. 3) = STORM SEWER - UNIT
COL. 4) = STORM SEWER PARK - SF

PIN NO.	COL 1	COL 2	COL 3	COL 4
13-28-22-42-0026	0.00	0.00	1.00	0.00
13-28-22-42-0027	0.00	0.00	1.00	0.00
13-28-22-42-0028	0.00	0.00	1.00	0.00
13-28-22-42-0029	0.00	0.00	1.00	0.00
13-28-22-42-0030	0.00	0.00	1.00	0.00
13-28-22-42-0031	0.00	0.00	1.00	0.00
13-28-22-42-0032	0.00	0.00	1.00	0.00
13-28-22-42-0033	0.00	0.00	1.00	0.00
13-28-22-42-0034	0.00	0.00	1.00	0.00
13-28-22-42-0035	0.00	0.00	1.00	0.00
13-28-22-42-0036	0.00	0.00	1.00	0.00
13-28-22-42-0037	0.00	0.00	1.00	0.00
13-28-22-42-0038	0.00	0.00	1.00	0.00
13-28-22-42-0039	0.00	0.00	1.00	0.00
GRAND TOTALS	10.00	10.00	484.00	642252.00



**HIGHWOOD-McKNIGHT OUTLET
PROPOSED ASSESSMENT AREA**



Q/Q 13

Notification Area Map

PROJECT 90-10
HIGHWOOD-McKNIGHT OUTLET

SCALE
N/A



ID. 13-28-22-13-0002
ASSMT.NO. 6194

CHARLES R & WANDA M
KASTNER
2585 HIGHWOOD AVE
ST PAUL MINN

551195825

ID. 13-28-22-13-0003
ASSMT.NO. 6194

ARTHUR B & MARGARET D
ENGSTROM
2525 HIGHWOOD AVE
ST PAUL MN

551195825

ID. 13-28-22-13-0004
ASSMT.NO. 6194

JOHN C DEVLIN JR &
SUZANNE R DEVLIN
2519 HIGHWOOD AVE
ST PAUL

MN 551195825

ID. 13-28-22-13-0005
ASSMT.NO. 6194

BERTEN A & BONNIE L
HOLMBERG
2511 HIGHWOOD AVE
ST PAUL MINN

551195825

ID. 13-28-22-13-0009
ASSMT.NO. 6194

F ROY & NORMA C ABRAHAMSON
2611 HIGHWOOD AVE
ST PAUL

MN 551195825

ID. 13-28-22-13-0010
ASSMT.NO. 6194

BRIAN L MILLER
928 STERLING ST N
MAPLEWOOD

MN 551193883

ID. 13-28-22-13-0011
ASSMT.NO. 6194

MARK S MCCOLLEY
CHERYL A MCCOLLEY
2515 VALLEY VIEW AVE
MAPLEWOOD

MN 551195847

ID. 13-28-22-13-0012
ASSMT.NO. 6194

PATRICK C MICKELSEN
PATRICIA M MICKELSEN
2525 VALLEY VIEW AVE
MAPLEWOOD

MN 551195847

ID. 13-28-22-13-0013
ASSMT.NO. 6194

DONALD W RICHARDSON
DOROTHY J RICHARDSON
2531 VALLEY VIEW AVE
MAPLEWOOD

MN 551195847

ID. 13-28-22-13-0014
ASSMT.NO. 6194

JOHN D RETZER
2541 VALLEY VIEW AVE
MAPLEWOOD

MN 551195847

ID. 13-28-22-13-0015
ASSMT.NO. 6194

GREGORY J MICHAEL
JODELL MICHAEL
2547 VALLEY VIEW AVE
MAPLEWOOD

MN 551195847

ID. 13-28-22-13-0016
ASSMT.NO. 6194

DAVID B JOHNSON &
KAREN L ARCAD-JOHNSON
2555 VALLEYVIEW AVE
MAPLEWOOD

MN 551195847

ID. 13-28-22-13-0017
ASSMT.NO. 6194

ROBERT S LUNDQUIST
RUTH M LUNDQUIST
2565 VALLEY VIEW AVE
MAPLEWOOD

MN 551195847

ID. 13-28-22-13-0018
ASSMT.NO. 6194

LAWRENCE R REIMER
KATHLEEN B REIMER
1730 ATLANTIC ST
MAPLEWOOD

MN 551094307

ID. 13-28-22-13-0019
ASSMT.NO. 6194

WILLIAM S BEAUDRY
SANDRA J BEAUDRY
2500 VALLEY VIEW AVE
MAPLEWOOD

MN 551195845

ID. 13-28-22-13-0020
ASSMT.NO. 6194

HAROLD V HARRIS
MAHER A HARRIS
2514 VALLEY VIEW AVE
MAPLEWOOD

MN 551195845

ID. 13-28-22-13-0023
ASSMT.NO. 6194

ID. 13-28-22-13-0024
ASSMT.NO. 6194

GOOD VALUE HOMES INC
1460 93RD LANE NE
BLAINE

MN 554344315

KEITH J TURNQUIST
MARCIA A TURNQUIST
2550 VALLEY VIEW AVE
MAPLEWOOD

MN 551195845

ID. 13-28-22-13-0025
ASSMT.NO. 6194

ID. 13-28-22-13-0026
ASSMT.NO. 6194

ELAINE A BURHS
2560 VALLEY VIEW AVE
MAPLEWOOD

MN 551195845

MICHAEL J KINMOUNTH
SHERRIE A KINMOUNTH
693 FERNDAL ST S
MAPLEWOOD

MN 551195946

ID. 13-28-22-13-0027
ASSMT.NO. 6194

ID. 13-28-22-13-0028
ASSMT.NO. 6194

JOHN M MAGEE
JOLEEN M MAGEE
943 FERNDAL ST
MAPLEWOOD

MN 551193805

CARLTON M USELMAN &
SHARON J USELMAN
953 FERNDAL ST S
MAPLEWOOD

MN 551195946

ID. 13-28-22-13-0029
ASSMT.NO. 6194

ID. 13-28-22-13-0030
ASSMT.NO. 6194

WARREN L WHITE &
ELIZABETH A WHITE
963 FERNDAL ST
MAPLEWOOD

MN 551193805

LEE R FOSTER
DORINNE A FOSTER
2549 HIGHWOOD AVE
MAPLEWOOD

MN 551195825

ID. 13-28-22-13-0031
ASSMT.NO. 6194

ID. 13-28-22-13-0032
ASSMT.NO. 6194

LOUIS C KNIPPENBERG
KIMBERLY L STEEN
2539 HIGHWOOD AVE
MAPLEWOOD

MN 551195825

MONTY L MARTIN &
DEBRA J DREW
940 FERNDAL ST S
MAPLEWOOD

MN 551195944

ID. 13-28-22-13-0033
ASSMT.NO. 6194

ID. 13-28-22-13-0035
ASSMT.NO. 6194

THOMAS R JOHNSEN
MARY D JOHNSEN
932 FERNDAL ST S
MAPLEWOOD

MN 551195944

KIRK R DOMAN
JANET S DOMAN
924 FERNDAL ST S
MAPLEWOOD

MN 551195944

ID. 13-28-22-13-0036
ASSMT.NO. 6194

ID. 13-28-22-13-0037
ASSMT.NO. 6194

RICHARD J MOORE
JULIE M MOORE
916 FERNDAL ST S
MAPLEWOOD

MN 551195944

GARY J HITE
MARY J HITE
908 FERNDAL ST S
MAPLEWOOD

MN 551195944

ID. 13-28-22-13-0038
ASSMT.NO. 6194

ID. 13-28-22-13-0039
ASSMT.NO. 6194

CHARLES E REGAN
ELAINE C REGAN
900 FERNDAL ST S
ST PAUL

MN 551195944

MICHAEL R ROSS
KATHY ROSS
1040 MINNEHAHA AVE E
ST PAUL

MN 551064644

ID. 13-28-22-13-0040
ASSMT.NO. 6194

ID. 13-28-22-13-0041
ASSMT.NO. 6194

HARVIN J NIEZGOCKI
CHARLOTTE M NIEZGOCKI
1505 RYAN AVE E
MAPLEWOOD

MN 551094432

RICHARD POMMIER SWANSON
LISA POMMIER SWANSON
6868 6TH ST N
OAKDALE

MN 551286701

ID. 13-28-22-13-0043
ASSMT.NO. 6194

ID. 13-28-22-13-0044
ASSMT.NO. 6194

JAMES T GARRETT
LINDA R GARRETT
850 FERNDAL ST S
ST PAUL

MN 551195944

BRIAN P BIETER
JEANNINE M BIETER
842 FERNDAL ST S
MAPLEWOOD

MN 551195944

ID. 13-28-22-13-0045
ASSMT.NO. 6194

ID. 13-28-22-13-0046
ASSMT.NO. 6194

GREGORY J DELOY
ANITA J DELOY
2585 VALLEY VIEW AVE
MAPLEWOOD

MN 551195847

KENT D ALTHOFF
JULIE L ALTHOFF
915 FERNDAL ST S
MAPLEWOOD

MN 551195946

ID. 13-28-22-13-0047
ASSMT.NO. 6194

ID. 13-28-22-13-0048
ASSMT.NO. 6194

MICHAEL J KINMOUNTH
SHERRIE A KINMOUNTH
893 FERNDAL ST S
ST PAUL

MN 551195946

ROBERT J MAURER
RICHELLE G MAURER
1953 COTTAGE AVE E
ST PAUL

MN 551193211

ID. 13-28-22-13-0049
ASSMT.NO. 6194

ID. 13-28-22-13-0050
ASSMT.NO. 6194

RICKIE A WILSON
CHRISTINE A WILSON
873 FERNDAL ST S
MAPLEWOOD

MN 551195946

RICHARD J ZABEL
CHRISTINE S ZABEL
9211 79TH ST S
COTTAGE GROVE

MN 550162214

ID. 13-28-22-13-0051
ASSMT.NO. 6194

ID. 13-28-22-13-0052
ASSMT.NO. 6194

MICHAEL J GALLENBERGER
LAURA M BISHOP
857 FERNDAL ST S
MAPLEWOOD

MN 551195946

MICHAEL HAGER
SANDRA L HAGER
849 FERNDAL ST S
MAPLEWOOD

MN 551195946

ID. 13-28-22-13-0053
ASSMT.NO. 6194

ID. 13-28-22-13-0054
ASSMT.NO. 6194

JAMES L KING
SUSAN M KING
841 FERNDAL ST S
MAPLEWOOD

MN 551195946

DONALD J WALDBILLIG JR
LEIGH A WALDBILLIG
2524 VALLEY VIEW AVE
MAPLEWOOD

MN 551195845

ID. 13-28-22-13-0055
ASSMT.NO. 6194

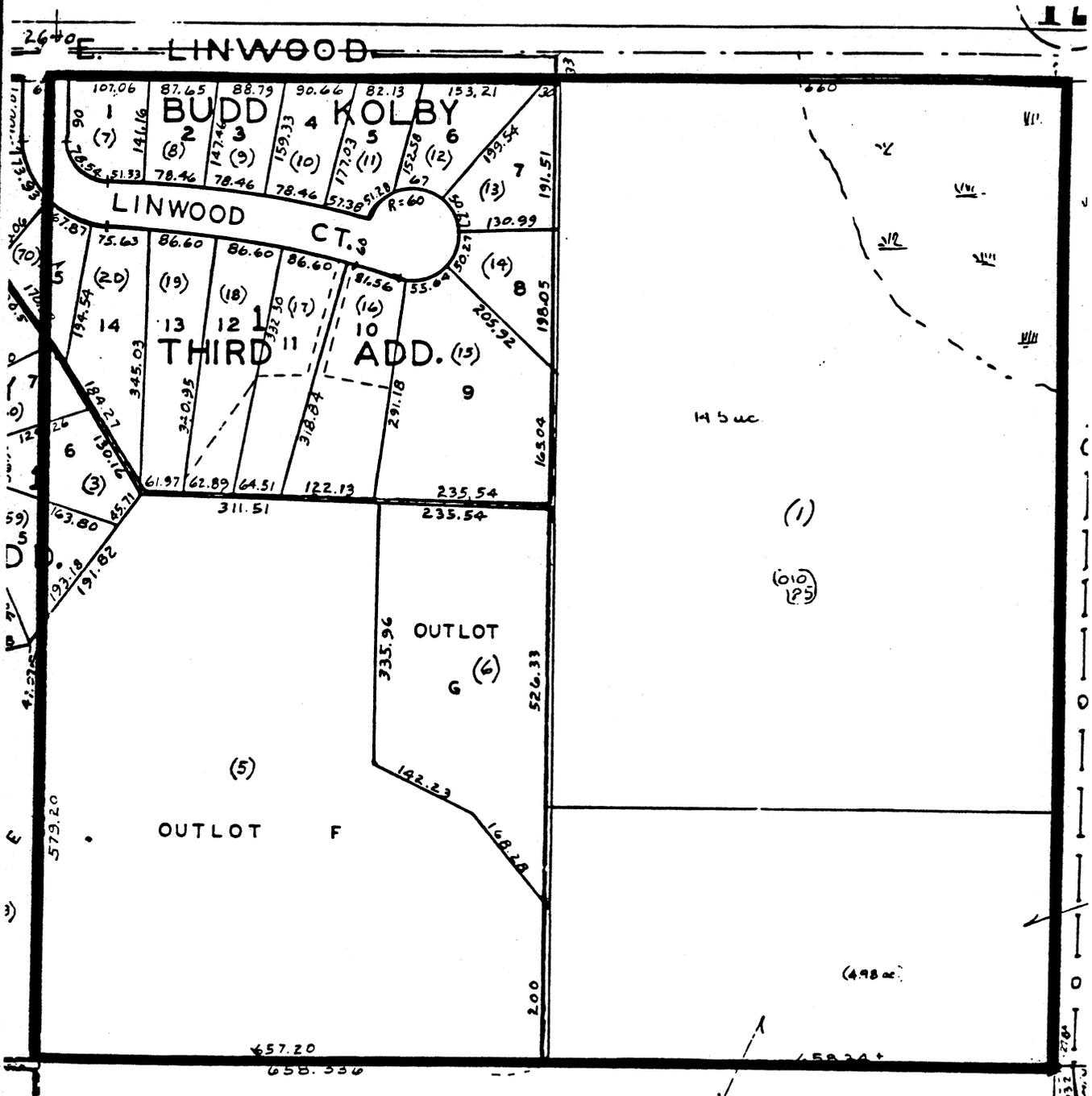
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ASSMT.NO. 6194

DANH V PHAM
DANH T H TRAN
2532 VALLEY VIEW AVE
MAPLEWOOD

MN 551195845

MILTON M & DELORES K MILLER
658 FERNDAL DRIVE
MAPLEWOOD

MN 551195944



Q/Q 21

Notification Area Map

**PROJECT 90-10
HIGHWOOD-McKNIGHT OUTLET**

SCALE
N/A



ID. 13-28-22-21-0003
ASSMT.NO. 6194

ID. 13-28-22-21-0005
ASSMT.NO. 6194

KATHY M BRINK
2377 DAHL AVE
MAPLEWOOD

MN 551195831

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

ID. 13-28-22-21-0006
ASSMT.NO. 6194

ID. 13-28-22-21-0007
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

ID. 13-28-22-21-0008
ASSMT.NO. 6194

ID. 13-28-22-21-0009
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

KEVIN L KITTRIDGE
PAMELA J KITTRIDGE
2399 LINWOOD COURT
MAPLEWOOD MN 551195854

ID. 13-28-22-21-0010
ASSMT.NO. 6194

ID. 13-28-22-21-0011
ASSMT.NO. 6194

TERRENCE R MCCARTY
SANDRA M MCCARTY
2409 LINWOOD COURT
MAPLEWOOD MN 551195854

THOMAS R LEHMANN
MELISSA A LEHMANN
2419 LINWOOD COURT
MAPLEWOOD MN 551195854

ID. 13-28-22-21-0012
ASSMT.NO. 6194

ID. 13-28-22-21-0013
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

ID. 13-28-22-21-0014
ASSMT.NO. 6194

ID. 13-28-22-21-0015
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

GREGORY A SCHMIT
CATHY J SCHMIT
2440 LINWOOD COURT
MAPLEWOOD MN 551195853

ID. 13-28-22-21-0016
ASSMT.NO. 6194

ID. 13-28-22-21-0017
ASSMT.NO. 6194

ROBERT M SALTER
KATHLEEN A HARDY
3733 GARFIELD AVE S
MPLS MN 554091114

SUSAN R COX
2420 LINWOOD COURT
MAPLEWOOD MN 551195853

ID. 13-28-22-21-0018
ASSMT.NO. 6194

ID. 13-28-22-21-0019
ASSMT.NO. 6194

JAMES R EHLE
LACRIE O EHLE
2410 LINWOOD COURT
MAPLEWOOD MN 551095853

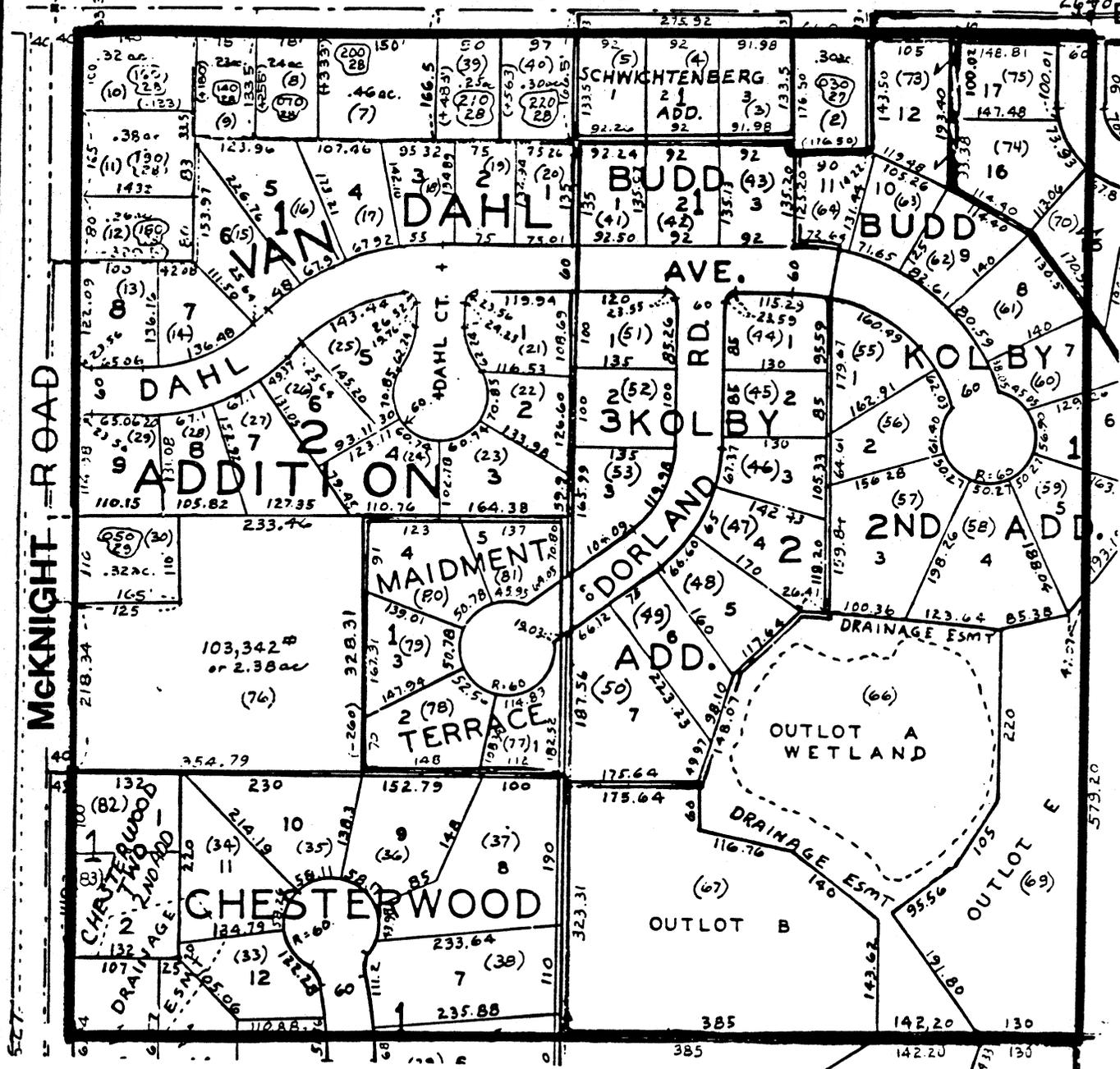
SHIRLEY P KRAUS
2400 LINWOOD COURT
MAPLEWOOD MN 551195853

ID: 13-28-22-21-0020
ASSMT. NO. 6194

STEVEN H OSTERKAMP
JAN OSTERKAMP
2390 LINWOOD COURT
MAPLEWOOD

MN 551195851

LINWOOD AVE.



Q/Q 22

Notification Area Map

PROJECT 90-10
HIGHWOOD-McKNIGHT OUTLET

SCALE
N/A



ID. 13-28-22-22-0030
ASSMT.NO. 6194

ID. 13-28-22-22-0033
ASSMT.NO. 6194

WILLIAM R LAW
CYNTHIA M LAW
810 HCKNIGHT ROAD S
MAPLEWOOD

MN 551195816

SADANAND V & RIJUTA S PATHRE
2307 TIMBER TRAIL
MAPLEWOOD

MN 551195820

ID. 13-28-22-22-0034
ASSMT.NO. 6194

ID. 13-28-22-22-0035
ASSMT.NO. 6194

GARET M BROS
5428 BRANDY CIRCLE SW
FORT MYERS

FL 339192251

KENNETH F PARISEAU &
HELEN M PARISEAU
2321 TIMBER TRAIL
ST PAUL

MN 551195820

ID. 13-28-22-22-0036
ASSMT.NO. 6194

ID. 13-28-22-22-0037
ASSMT.NO. 6194

LUCILLE G PARISEAU
2320 TIMBER TRAIL
MAPLEWOOD

MN 551195820

JOSEPH A & BARBARA J SMRDEL
2314 TIMBER TRAIL
MAPLEWOOD

MN 551195820

ID. 13-28-22-22-0038
ASSMT.NO. 6194

ID. 13-28-22-22-0041
ASSMT.NO. 6194

WILLIAM M & MARY M PARKER
2306 TIMBER TRAIL
MAPLEWOOD

MN 551195820

BRADLEY S MAKELA
2321 DAHL AVE
MAPLEWOOD

MN 551195831

ID. 13-28-22-22-0042
ASSMT.NO. 6194

ID. 13-28-22-22-0043
ASSMT.NO. 6194

SECRETARY OF VETERANS AFFAIRS
LOAN GUARANTY DIVISION
WHIPPLE FEDERAL BLDG #8
ST PAUL

MN 551114007

JOSEPH W FREUNDSCHUH
MARCIA L FREUNDSCHUH
2341 DAHL AVE
MAPLEWOOD

MN 551195831

ID. 13-28-22-22-0044
ASSMT.NO. 6194

ID. 13-28-22-22-0045
ASSMT.NO. 6194

RANDAL D SCHREINER & CYNTHIA K BITTNER
760 DORLAND ROAD
MAPLEWOOD

MN 551195834

MARK G & MARY E LECLAIR
770 DORLAND ROAD S
MAPLEWOOD

MN 551195834

ID. 13-28-22-22-0046
ASSMT.NO. 6194

ID. 13-28-22-22-0047
ASSMT.NO. 6194

JAMES T & KATHLEEN S MOLBERG
780 DORLAND ROAD
MAPLEWOOD

MN 551195834

DENNIS J & AUDREY D SCHUTZ
790 DORLAND ROAD
MAPLEWOOD

MN 551195834

ID. 13-28-22-22-0048
ASSMT.NO. 6194

ID. 13-28-22-22-0049
ASSMT.NO. 6194

DAVID A LARSHUS
MARLENE A LARSHUS
800 DORLAND ROAD
MAPLEWOOD

MN 551195836

TIMOTHY J PLEGGENKUHLE
GAYLA M PLEGGENKUHLE
610 DORLAND ROAD
MAPLEWOOD

MN 551195836

ID: 13-28-22-22-0050
ASSMT.NO. 6194

ID: 13-28-22-22-0051
ASSMT.NO. 6194

JAMES P SEIPEL
BETTY L SEIPEL
820 DORLAND ROAD
MAPLEWOOD

MN 551195836

DAVID A & CHERYL L WHITE
765 DORLAND ROAD
MAPLEWOOD

MN 551195835

ID: 13-28-22-22-0052
ASSMT.NO. 6194

ID: 13-28-22-22-0053
ASSMT.NO. 6194

AELWYN R EVANS
NANCY S EVANS
775 DORLAND ROAD
MAPLEWOOD

MN 551195835

DONALD A & JO LEE TROST
799 DORLAND ROAD
MAPLEWOOD

MN 551195835

ID: 13-28-22-22-0055
ASSMT.NO. 6194

ID: 13-28-22-22-0056
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL

MN 551093019

GREGORY M MEYER
GINA M MEYER
2366 DAHL AVE
MAPLEWOOD

MN 551195833

ID: 13-28-22-22-0057
ASSMT.NO. 6194

ID: 13-28-22-22-0058
ASSMT.NO. 6194

TIMOTHY M TIMMINS
DONNA M TIMMINS
2372 DAHL AVE
MAPLEWOOD

MN 551195833

DARYL A GERBER
LINDA M GERBER
2380 DAHL AVE
MAPLEWOOD

MN 551195833

ID: 13-28-22-22-0059
ASSMT.NO. 6194

ID: 13-28-22-22-0060
ASSMT.NO. 6194

DANIEL A ERNST
CAROL J ERNST
2383 DAHL AVE
MAPLEWOOD

MN 551195831

KD HOMES INC
2373 LINWOOD AVE E
MAPLEWOOD

MN 551195824

ID: 13-28-22-22-0061
ASSMT.NO. 6194

ID: 13-28-22-22-0062
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL

MN 551093019

SCOTT J KOCH
CAROLYN J KOCH
2359 DAHL AVE
MAPLEWOOD

MN 551195831

ID: 13-28-22-22-0063
ASSMT.NO. 6194

ID: 13-28-22-22-0064
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL

MN 551093019

JUDITH A HUDALLA
2347 DAHL AVE
MAPLEWOOD

MN 551195831

ID: 13-28-22-22-0067
ASSMT.NO. 6194

CITY OF MAPLEWOOD
1830 COUNTY ROAD B E
ST PAUL

MN 551092702

ASSMT.NO. 6194

ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
ST PAUL MN 551093019

MARVIN J KUSH
ELLEN J FLAHERTY
2380 LINWOOD COURT
MAPLEWOOD MN 551195851

ID. 13-28-22-22-0074
ASSMT.NO. 6194

RODERICK G MILLER
MARY B MILLER
2370 LINWOOD COURT
MAPLEWOOD MN 551195851

ID. 13-28-22-22-0075
ASSMT.NO. 6194

ID. 13-28-22-22-0076
ASSMT.NO. 6194

CASTLE DESIGN & DEVELOPMENT CO INC
2419 MARGARET ST N
NORTH ST PAUL MN 551093019

KARL E & PATRICIA L MAIDMENT
824 MCKNIGHT RD S
MAPLEWOOD MN 551195816

ID. 13-28-22-22-0077
ASSMT.NO. 6194

ID. 13-28-22-22-0078
ASSMT.NO. 6194

DENNIS A DAVIDSON
SUSAN J DAVIDSON
830 DORLAND ROAD
MAPLEWOOD MN 551195836

RICK S SHAND
CONNIE M SHAND
RT 6 PO BOX 272C
FERGUS FALLS MN 565379806

ID. 13-28-22-22-0079
ASSMT.NO. 6194

ID. 13-28-22-22-0080
ASSMT.NO. 6194

SCOTT D AYOTTE
JOAN A AYOTTE
ELIZABETH D AYOTTE
839 DORLAND ROAD
MAPLEWOOD MN 551195837

KARL E & PATRICIA L MAIDMENT
824 MCKNIGHT RD S
MAPLEWOOD MN 551195816

ID. 13-28-22-22-0081
ASSMT.NO. 6194

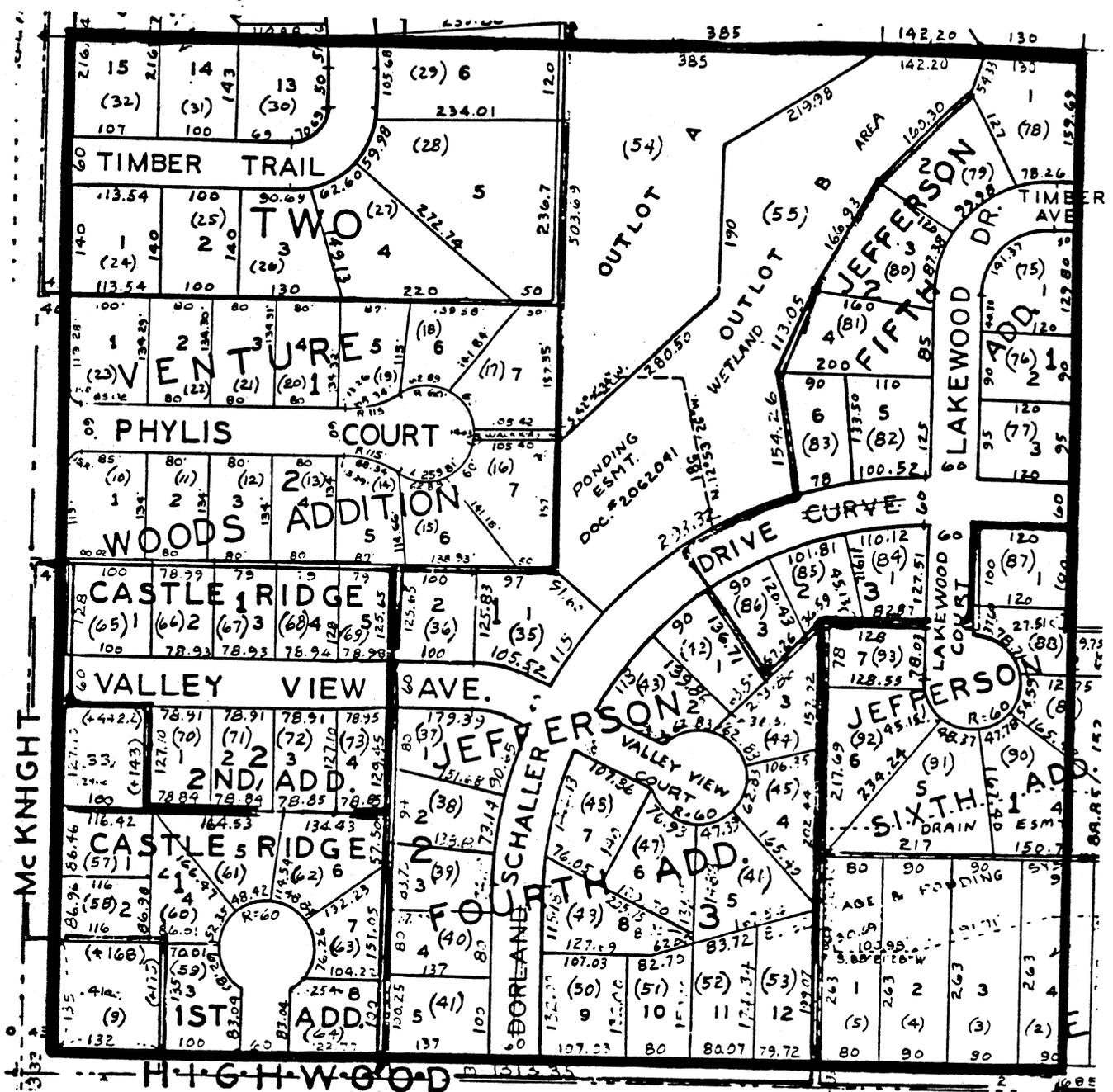
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ASSMT.NO. 6194

CUSTOM QUALITY HOMES INC
260 SHERWOOD ROAD
SHOREVIEW MN 551264778

GARET M BROS
5428 BRANDY CIRCLE SW
FORT MYERS FL 339192251

ID. 13-28-22-22-0083
ASSMT.NO. 6194

GARET M BROS
5428 BRANDY CIRCLE SW
FORT MYERS FL 339192251



Q/Q 23

Notification Area Map

PROJECT 90-10
HIGHWOOD-McKNIGHT OUTLET

SCALE
N/A



ID. 13-28-22-23-0002
ASSMT.NO. 6194

JOSEPH R & PATSY FITTIPALDI
2371 HIGHWOOD AVE
ST PAUL

MN 551195801

ID. 13-28-22-23-0003
ASSMT.NO. 6194

ID. 13-28-22-23-0004
ASSMT.NO. 6194

THOMAS & SHIRLEY A SYFKO
2361 HIGHWOOD AVE
ST PAUL MN

551195801

ANN E SYVERSON
2355 HIGHWOOD AVE
MAPLEWOOD

MN 551195801

ID. 13-28-22-23-0005
ASSMT.NO. 6194

ID. 13-28-22-23-0009
ASSMT.NO. 6194

KEVIN W MOORE
ROXANNE M MOORE
2345 HIGHWOOD AVE
MAPLEWOOD

MN 551195801

SCOTT R HENNESSEY
2275 HIGHWOOD AVE
ST PAUL MN

551195801

ID. 13-28-22-23-0010
ASSMT.NO. 6194

ID. 13-28-22-23-0011
ASSMT.NO. 6194

CHARLES ALBERT WEST JR &
JUDY M WEST
2264 PHYLLIS COURT
ST PAUL MINN

551195805

ROGER ALBERT RICKER
2272 PHYLLIS COURT
ST PAUL MN

551195805

ID. 13-28-22-23-0012
ASSMT.NO. 6194

ID. 13-28-22-23-0013
ASSMT.NO. 6194

STANLEY W & JOANN R HAGEN
2280 PHYLLIS COURT
ST PAUL MN

551195805

BRIAN J & JUDY A ERICKSON
2288 PHYLLIS COURT
ST PAUL

MN 551195805

ID. 13-28-22-23-0014
ASSMT.NO. 6194

ID. 13-28-22-23-0015
ASSMT.NO. 6194

RICHARD L KARRAS &
MARITA A KARRAS
2296 PHYLLIS COURT
MAPLEWOOD

MN 551195805

EDWARD D NELSON
2304 PHYLLIS COURT
MAPLEWOOD

MN 551195803

ID. 13-28-22-23-0016
ASSMT.NO. 6194

ID. 13-28-22-23-0017
ASSMT.NO. 6194

DOUGLAS W SPERLING &
LINDA A SPERLING
2312 PHYLLIS COURT
ST PAUL MN

551195803

GLEN S NELSON
2313 PHYLLIS COURT
MAPLEWOOD

MN 551195803

ID. 13-28-22-23-0018
ASSMT.NO. 6194

ID. 13-28-22-23-0019
ASSMT.NO. 6194

JAMES MUNOZ &
SONIA A MUNOZ
2305 PHYLLIS COURT
MAPLEWOOD

MN 551195803

JOHN M KLOOZ
GAYLE A KLOOZ
2297 PHYLLIS COURT
MAPLEWOOD

MN 551195813

ID. 13-28-22-23-0020
ASSMT.NO. 6194

DANIEL R & MARY C GAMACHE
2289 PHYLIS COURT
MAPLEWOOD

MN 551195813

ID. 13-28-22-23-0021
ASSMT.NO. 6194

ADAPTED LIVING REAL ESTATE PTNSHP
1365 ENGLEWOOD AVE #201
ST PAUL

MN 551041952

ID. 13-28-22-23-0022
ASSMT.NO. 6194

GREGORY E & BARBARA LASKA
2273 PHYLIS COURT
MAPLEWOOD

MN 551195813

ID. 13-28-22-23-0023
ASSMT.NO. 6194

DARLENE FULLERTON
2265 PHYLIS COURT
MAPLEWOOD

MN 551195813

ID. 13-28-22-23-0024
ASSMT.NO. 6194

WILLIAM C GREENING
SUSAN M GREENING
2260 TIMBER TRAIL
MAPLEWOOD

MN 551195818

ID. 13-28-22-23-0025
ASSMT.NO. 6194

HOWARD E & AMELIA WESTPHAL
2268 TIMBER TRAIL
ST PAUL MN

551195818

ID. 13-28-22-23-0026
ASSMT.NO. 6194

JAMES L SCHRAMEL &
ELIZABETH J SCHRAMEL
2276 TIMBER TRAIL
ST PAUL MN

551195818

ID. 13-28-22-23-0027
ASSMT.NO. 6194

ROBERT E & KATHLEEN M GREER
2284 TIMBER TRAIL
ST PAUL MN

551195818

ID. 13-28-22-23-0028
ASSMT.NO. 6194

JAMES W FISCHER
2290 TIMBER TRAIL
MAPLEWOOD

MN 551195818

ID. 13-28-22-23-0029
ASSMT.NO. 6194

JEFFREY G & DENISE K KIRCHOFF
2298 TIMBER TRAIL
MAPLEWOOD

MN 551195818

ID. 13-28-22-23-0030
ASSMT.NO. 6194

GREGORY MARK & DEANNE LOUISE COEN
2257 TIMBER TRAIL
MAPLEWOOD

MN 551195819

ID. 13-28-22-23-0031
ASSMT.NO. 6194

THOMAS J GANZER
SUSAN M GANZER
2269 TIMBER TRAIL
MAPLEWOOD

MN 551195819

ID. 13-28-22-23-0032
ASSMT.NO. 6194

ROBERT W MERRITT &
PATRICIA J MERRITT
2261 TIMBER TRAIL
MAPLEWOOD

MN 551195819

ID. 13-28-22-23-0033
ASSMT.NO. 6194

CHARLES V LIEFFRING &
CONSTANCE D LIEFFRING
2262 VALLEY VIEW AVE
MAPLEWOOD

MN 551195856

ID. 13-28-22-23-0035
ASSMT.NO. 6194

ROBERT D & WENDY A GARDNER
2311 VALLEY VIEW AVE
MAPLEWOOD

MN 551195846

ID. 13-28-22-23-0036
ASSMT.NO. 6194

LORI L BREINER
2301 VALLEY VIEW AVE
MAPLEWOOD

MN 551195846

ID. 13-28-22-23-0037
ASSMT.NO. 6194

ID. 13-28-22-23-0038
ASSMT.NO. 6194

PHILLIP A & CANDICE J DHMAN
919 SCHALLER DRIVE
ST PAUL

MN 551195843

LANE L PROPP &
LUANN M PROPP
929 SCHALLER DRIVE
MAPLEWOOD

MN 551195843

ID. 13-28-22-23-0039
ASSMT.NO. 6194

ID. 13-28-22-23-0040
ASSMT.NO. 6194

THU-VAN T TRAN
939 SCHALLER DRIVE
MAPLEWOOD

MN 551195843

JOSEPHINE A BRUNO
949 SCHALLER DRIVE
MAPLEWOOD

MN 551195843

ID. 13-28-22-23-0041
ASSMT.NO. 6194

ID. 13-28-22-23-0042
ASSMT.NO. 6194

MARGARET ASMUS
PATRICK E ASMUS
959 SCHALLER DRIVE
MAPLEWOOD

MN 551195843

WALTER W BLOOD III
ELIZABETH J BLOOD
920 SCHALLER DRIVE
MAPLEWOOD

MN 551195839

ID. 13-28-22-23-0043
ASSMT.NO. 6194

ID. 13-28-22-23-0044
ASSMT.NO. 6194

PHILLIP & ELLEN F HAKARI
2317 VALLEY VIEW COURT
MAPLEWOOD

MN 551195848

ROBERT J CHEVALIER
VICKI L CHEVALIER
2321 VALLEY VIEW COURT
MAPLEWOOD

MN 551195848

ID. 13-28-22-23-0045
ASSMT.NO. 6194

ID. 13-28-22-23-0046
ASSMT.NO. 6194

TERRANCE E TRUHLER
LAURINE J TRUHLER
2329 VALLEY VIEW COURT
MAPLEWOOD

MN 551195848

THOMAS G & GAIL A EIBER
2328 VALLEY VIEW COURT
MAPLEWOOD

MN 551195848

ID. 13-28-22-23-0047
ASSMT.NO. 6194

ID. 13-28-22-23-0048
ASSMT.NO. 6194

FRANK J SR & SHIRLEY D HOLEC
2320 VALLEY VIEW COURT
MAPLEWOOD

MN 551195848

ALLEN B ELDRIDGE
2316 VALLEY VIEW COURT
MAPLEWOOD

MN 551195848

ID. 13-28-22-23-0049
ASSMT.NO. 6194

ID. 13-28-22-23-0050
ASSMT.NO. 6194

JAMES W PIERRE
MICHELLE L PIERRE
950 SCHALLER DRIVE
MAPLEWOOD

MN 551195840

DANIEL J SEBESTA
JUDI L SEBESTA
2315 HIGHWOOD AVE
MAPLEWOOD

MN 551195801

ID. 13-28-22-23-0051
ASSMT.NO. 6194

ID. 13-28-22-23-0052
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION INC
4530 HIGHWAY 61
ST PAUL

MN 551103424

KENT W JEFFERSON CONSTRUCTION INC
4530 HIGHWAY 61
ST PAUL

MN 551103424

ID. 13-28-22-23-0053
ASSMT.NO. 6194

ID. 13-28-22-23-0054
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION INC
4530 HIGHWAY 61
ST PAUL MN 551103424

CITY OF MAPLEWOOD
1830 E COUNTY RD B
MAPLEWOOD MN 551092702

ID. 13-28-22-23-0055
ASSMT.NO. 6194

ID. 13-28-22-23-0057
ASSMT.NO. 6194

CITY OF MAPLEWOOD
1830 E COUNTY RD B
MAPLEWOOD MN 551092702

DESOTO ASSOCIATES
P O BOX 17830
ST PAUL MN 551177830

ID. 13-28-22-23-0058
ASSMT.NO. 6194

ID. 13-28-22-23-0059
ASSMT.NO. 6194

CECIL R ROSS
GUDRUN P ROSS
942 MCKNIGHT ROAD S
MAPLEWOOD MN 551195830

JOSEPH D HORWATH
PATRICE M LONDON HORWATH
955 CURRIE COURT S
MAPLEWOOD MN 551195800

ID. 13-28-22-23-0060
ASSMT.NO. 6194

ID. 13-28-22-23-0061
ASSMT.NO. 6194

DESOTO ASSOCIATES
P O BOX 17830
ST PAUL MN 551177830

DESOTO ASSOCIATES
P O BOX 17830
ST PAUL MN 551177830

ID. 13-28-22-23-0062
ASSMT.NO. 6194

ID. 13-28-22-23-0063
ASSMT.NO. 6194

PAULA R MCCARTHY
936 CURRIE COURT S
MAPLEWOOD MN 551195800

DESOTO ASSOCIATES
P O BOX 17830
ST PAUL MN 551177830

ID. 13-28-22-23-0064
ASSMT.NO. 6194

ID. 13-28-22-23-0065
ASSMT.NO. 6194

ROGER V ROELL
JUANITA E ROELL
956 CURRIE COURT
MAPLEWOOD MN 551195800

ANTHONY R VANDERHEYDEN
CHRISTINE E VANDERHEYDEN
2261 VALLEY VIEW AVE
MAPLEWOOD MN 551195855

ID. 13-28-22-23-0066
ASSMT.NO. 6194

ID. 13-28-22-23-0067
ASSMT.NO. 6194

JOHN K ALTRICHTER
SUELLEN J S ALTRICHTER
2271 VALLEY VIEW AVE
MAPLEWOOD MN 551195855

SCOTT M EHRMAN
CYNTHIA A EHRMAN
2277 VALLEYVIEW AVE
MAPLEWOOD MN 551195855

ID. 13-28-22-23-0068
ASSMT.NO. 6194

ID. 13-28-22-23-0069
ASSMT.NO. 6194

DESOTO ASSOCIATES
P O BOX 17830
ST PAUL MN 551177830

DESOTO ASSOCIATES
P O BOX 17830
ST PAUL MN 551177830

ID. 13-26-22-23-0070
ASSMT.NO. 6194

ID. 13-28-22-23-0071
ASSMT.NO. 6194

ARTHUR FRY
2270 VALLEY VIEW ROAD
MAPLEWOOD

MN 551195856

MICHAEL J IRESTONE
DONNA M IRESTONE
2278 VALLEY VIEW AVE
ST PAUL

MN 551195856

ID. 13-28-22-23-0072
ASSMT.NO. 6194

ID. 13-28-22-23-0073
ASSMT.NO. 6194

DONALD J WALSETH
VICKI C WALSETH
2286 VALLEY VIEW AVE
MAPLEWOOD

MN 551195856

THOMAS J MAYKOSKI
2294 VALLEY VIEW AVE
MAPLEWOOD

MN 551195856

ID. 13-28-22-23-0075
ASSMT.NO. 6194

ID. 13-28-22-23-0076
ASSMT.NO. 6194

TERENCE D SPAWN
CAROL-LYNN SPAWN
2360 TIMBER AVE
MAPLEWOOD

MN 551195849

BRIAN J FITZGERALD
MCNICA J FITZGERALD
870 LAKEWOOD DRIVE N
MAPLEWOOD

MN 551195857

ID. 13-28-22-23-0077
ASSMT.NO. 6194

ID. 13-28-22-23-0078
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

STEVEN C MOSHER
LISA D MOSHER
2359 TIMBER AVE
MAPLEWOOD

MN 551195850

ID. 13-28-22-23-0079
ASSMT.NO. 6194

ID. 13-28-22-23-0080
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

DOMINIC D RAMACIER
LINDA J RAMACIER
865 LAKEWOOD DRIVE
MAPLEWOOD

MN 551195858

ID. 13-28-22-23-0081
ASSMT.NO. 6194

ID. 13-28-22-23-0082
ASSMT.NO. 6194

WAYMOND JOHNSON
CAROLE WILCOX JOHNSON
875 LAKEWOOD DRIVE
MAPLEWOOD

MN 551195858

RICHARD W SHERWOOD
DYAN L SHERWOOD
885 LAKEWOOD DRIVE
MAPLEWOOD

MN 551195858

ID. 13-28-22-23-0083
ASSMT.NO. 6194

ID. 13-28-22-23-0084
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

STEVEN L FELTON
INGRID M HESS
890 SCHALLER DRIVE
MAPLEWOOD

MN 551195839

ID. 13-28-22-23-0085
ASSMT.NO. 6194

ID. 13-28-22-23-0086
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

DAVID R WOLD
TRACY L WOLD
910 SCHALLER DR
MAPLEWOOD

MN 551195339

ID. 13-28-22-23-0087
ASSMT.NO. 6194

ID. 13-28-22-23-0088
ASSMT.NO. 6194

PATRICK K RILEY
PAMELA L RILEY
688 LAKEWOOD COURT
MAPLEWOOD

MN 551195859

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

ID. 13-28-22-23-0089
ASSMT.NO. 6194

ID. 13-28-22-23-0090
ASSMT.NO. 6194

DANIEL S PROESCH
KAREN K PROESCH
920 LAKEWOOD COURT
MAPLEWOOD

MN 551195859

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

ID. 13-28-22-23-0091
ASSMT.NO. 6194

ID. 13-28-22-23-0092
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

ID. 13-28-22-23-0093
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION CO
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

ID. 13-28-22-24-0002
ASSMT.NO. 6194

CHARLES H. PLUMMER &
ANDREA C. PLUMMER
2385 HIGHWOOD AVE
MAPLEWOOD

MN 551195801

ID. 13-28-22-24-0003
ASSMT.NO. 6194

DAVID L & RUTH E WALBERG
23449 QUENTIN AVE N
SCANDIA

WILLIAM C POPPERT
2433 HIGHWOOD AVE
MAPLEWOOD

MN 551195801

ID. 13-28-22-24-0004
ASSMT.NO. 6194

ID. 13-28-22-24-0005
ASSMT.NO. 6194

INDEPENDENT SCHOOL DISTRICT 622
2055 LARPENTTEUR AVE E
MAPLEWOOD

JEFFREY E NIELSEN
2475 HIGHWOOD AVE
ST PAUL MN

551195801

ID. 13-28-22-24-0006
ASSMT.NO. 6194

ID. 13-28-22-24-0007
ASSMT.NO. 6194

JOHN R & JACQUELINE S ROEDLER
2495 HIGHWOOD AVE
ST PAUL

ANDREW & TERRY SANDBECK
2501 HIGHWOOD AVE
ST PAUL MN

551195801

ID. 13-28-22-24-0010
ASSMT.NO. 6194

CUSTOM MILLWORK INC
2298 2ND ST N
NORTH ST PAUL

MN 551092935

ID. 13-28-22-31-0003
ASSMT.NO. 6194

ORVILLE E SETHER ET AL
962 MARNIE ST
ST PAUL MINN

551195909

ID. 13-28-22-31-0004
ASSMT.NO. 6194

ID. 13-28-22-31-0005
ASSMT.NO. 6194

JUDY RASSETT
982 MARNIE ST
ST PAUL MN

551195909

GREGORY A & JEANNE M HUNTER
992 MARNIE ST
ST PAUL MN

551195909

ID. 13-28-22-31-0006
ASSMT.NO. 6194

ID. 13-28-22-31-0007
ASSMT.NO. 6194

E EDWARD LOCKNER
1000 MARNIE ST
MAPLEWOOD

MN 551195934

JAMES C & KAREN L FLEMING
1008 MARNIE ST
ST PAUL MINN

551195934

ID. 13-28-22-31-0008
ASSMT.NO. 6194

ID. 13-28-22-31-0009
ASSMT.NO. 6194

JOSEPH A DREVNICK
CHARLEEN A DREVNICK
1016 MARNIE ST
MAPLEWOOD

MN 551195934

DEAN W & LORRAINE M
WOHLHUTER
1024 MARNIE ST
ST PAUL MN

551195934

ID. 13-28-22-31-0010
ASSMT.NO. 6194

ID. 13-28-22-31-0011
ASSMT.NO. 6194

ROBERT A & VERNA JUNE
GARDINER
1048 MARNIE
ST PAUL MN

551195942

NICHOLAS P & MARGARET M FRANCIS
1058 MARNIE ST
MAPLEWOOD

MN 551195942

ID. 13-28-22-31-0012
ASSMT.NO. 6194

ID. 13-28-22-31-0013
ASSMT.NO. 6194

THOMAS A FABIO
1068 MARNIE ST
ST PAUL MINN

551195942

C/O DEAN E SHERBURNE
1078 MARNIE ST
MAPLEWOOD

MN 551195942

ID. 13-28-22-31-0014
ASSMT.NO. 6194

ID. 13-28-22-31-0015
ASSMT.NO. 6194

WILLIAM R + DIAN D ZOLLMAN
963 MARNIE ST
ST PAUL MN

551195908

CLARENCE R LEWIS
2450 HIGHWOOD AVE
ST PAUL MN

551195804

ID. 13-28-22-31-0016
ASSMT.NO. 6194

ID. 13-28-22-31-0017
ASSMT.NO. 6194

GREGORY J & JANE M WALKER
2446 HIGHWOOD AVE
ST PAUL MN

551195804

TIMOTHY E & JOYCE K AHLES
980 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195932

ID. 13-26-22-31-0018
ASSMT.NO. 6194

ID. 13-26-22-31-0019
ASSMT.NO. 6194

WALTER S FEDERATION
992 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195932

DAVID P & JOANN M ALTMAN
2443 MAMIE ST
ST PAUL MN

551195906

ID. 13-26-22-31-0020
ASSMT.NO. 6194

ID. 13-26-22-31-0021
ASSMT.NO. 6194

ELIZABETH A RABE
2451 MAMIE AVE
MAPLEWOOD

MN 551195906

RICHARD J SCHMIDT ETAL
2459 MAMIE DRIVE
ST PAUL MINN

551195906

ID. 13-28-22-31-0022
ASSMT.NO. 6194

ID. 13-28-22-31-0023
ASSMT.NO. 6194

JOHN R & SHIRLEY A HANSON
983 MARNIE ST
ST PAUL MN

551195908

DONNA M DERWA
2460 MAMIE AVE
MAPLEWOOD

MN 551195924

ID. 13-28-22-31-0024
ASSMT.NO. 6194

ID. 13-28-22-31-0025
ASSMT.NO. 6194

HIKARU SAKAI & HIDEKO WALD
2452 MAMIE AVE
MAPLEWOOD

MN 551195924

RICHARD R & MARY S JOHNSON
2444 MAMIE AVE
ST PAUL MINN

551195924

ID. 13-28-22-31-0026
ASSMT.NO. 6194

ID. 13-28-22-31-0027
ASSMT.NO. 6194

R J BERTHIAUME
CAROL V BERTHIAUME
1004 S CRESTVIEW DR
ST PAUL MN

551195903

SCOTT J & MARA J PETERSEN
1014 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195903

ID. 13-28-22-31-0028
ASSMT.NO. 6194

ID. 13-28-22-31-0029
ASSMT.NO. 6194

DENNIS M & ARLENE E JENSEN
1024 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195903

DANIEL W + JANET E MULGREW
2433 NEMITZ AVE
ST PAUL MN

551195911

ID. 13-28-22-31-0030
ASSMT.NO. 6194

ID. 13-28-22-31-0031
ASSMT.NO. 6194

THOMAS J & MARTHA A GINZL
2441 NEMITZ AVE
ST PAUL MINN

551195911

GREGORY T & LORI A GOTT
2453 NEMITZ AVE
ST PAUL

MN 551195911

ID. 13-28-22-31-0032
ASSMT.NO. 6194

ID. 13-28-22-31-0033
ASSMT.NO. 6194

MICHAEL C KOVANDA &
TERRY L KOVANDA
2461 NEMITZ AVE
ST PAUL MN

551195911

KIRK C & KENDRA S GRAVES
1017 MARNIE ST
ST PAUL MN

551195907

ASSMT.NO. 6194

ASSMT.NO. 6194

DANIEL T & JUDITH E
NIEZGOCKI
1037 HARNIE ST
ST PAUL MINN

551195910

ROBERT C + MARY M ALBRECHT
2450 NEMITZ
ST PAUL MN

551195912

ID. 13-28-22-31-0036
ASSMT.NO. 6194

ID. 13-28-22-31-0037
ASSMT.NO. 6194

GARY E & JEWEL M OLSON
2442 NEMITZ ST
ST PAUL MN

551195912

LARRY M & MARY ANN MORGAN
2434 NEMITZ ST
ST PAUL MN

551195912

ID. 13-28-22-31-0038
ASSMT.NO. 6194

ID. 13-28-22-31-0039
ASSMT.NO. 6194

RAYMOND J BOGOTTY JR
1038 CRESTVIEW DRIVE
ST PAUL

MN 551195904

DELROY W & KAREN B PREUSS
1052 CRESTVIEW DRIVE S
ST PAUL MINN

551195904

ID. 13-28-22-31-0040
ASSMT.NO. 6194

ID. 13-28-22-31-0041
ASSMT.NO. 6194

JOHN A HARRINGTON
SUE A HARRINGTON
1062 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195904

LINDA A SCHWARTZ
2435 SOUTHCREST AVE
MAPLEWOOD

MN 551195913

ID. 13-28-22-31-0042
ASSMT.NO. 6194

ID. 13-28-22-31-0043
ASSMT.NO. 6194

JEFFREY A & LINDA S HALL
2443 SOUTHCREST AVE
ST PAUL

MN 551195913

CURTICE E BERGMAN
CONNIE E BERGMAN
2451 SOUTHCREST AVE
MAPLEWOOD

MN 551195913

ID. 13-28-22-31-0044
ASSMT.NO. 6194

ID. 13-28-22-31-0045
ASSMT.NO. 6194

JEROME & PATRICIA A KUBASH
2475 SOUTHCREST AVE
ST PAUL MN

551195913

JOHN A KLEIN
1047 HARNIE ST
ST PAUL MN

551195910

ID. 13-28-22-31-0046
ASSMT.NO. 6194

ID. 13-28-22-31-0047
ASSMT.NO. 6194

THOMAS W & JILLAIN E M
STENGER
2462 SOUTHCREST AVE
ST PAUL MN

551195914

JAMES E & SUSAN G BREWER
2452 SOUTHCREST AVE
ST PAUL MN

551195914

ID. 13-28-22-31-0048
ASSMT.NO. 6194

ID. 13-28-22-31-0049
ASSMT.NO. 6194

CHRISTOPHER J HAYES
WENDY B HAYES
2444 SOUTHCREST AVE
MAPLEWOOD

MN 551195914

WILLIAM C & ELDEAN M
TINGERTHAL
2434 SOUTHCREST AVE
ST PAUL MINN

551195914

ID. 13-28-22-31-0050
ASSMT.NO. 6194

JACK D & JANICE A BOTKIN
2426 SOUTHCREST AVE
ST PAUL MINN

551195914

ID. 13-28-22-31-0057
ASSMT.NO. 6194

MAXINE M CHINANDER
1001 CRESTVIEW DRIVE
ST PAUL MN

551195935

ID. 13-28-22-31-0058
ASSMT.NO. 6194

STEPHEN F WISDORF
SHARON L WISDORF
991 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195901

ID. 13-28-22-31-0059
ASSMT.NO. 6194

DONALD A REGENAUER
979 CRESTVIEW DRIVE S
ST PAUL MINN

551195901

ID. 13-28-22-31-0060
ASSMT.NO. 6194

D A REGENAUER
979 S CRESTVIEW DR
ST PAUL MINN

551195901

ID. 13-28-22-31-0065
ASSMT.NO. 6194

TAN THANH VO
1038 HARNIE ST
MAPLEWOOD

MN 551195942

ID. 13-28-22-31-0067
ASSMT.NO. 6194

BERTEN A & BONNIE L HOLMBERG
2511 HIGHWOOD AVE
ST PAUL

MN 551195825

ID. 13-28-22-31-0068
ASSMT.NO. 6194

ROBERT J & JOSEPHINE E PALUMBO
1021 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195935

ID. 13-28-22-31-0069
ASSMT.NO. 6194

DONALD C & LUCILLE M HALVERSON
1025 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195935

ID. 13-28-22-31-0070
ASSMT.NO. 6194

RODNEY R & TERRY R HANNULA
1049 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195935

ID. 13-28-22-31-0071
ASSMT.NO. 6194

JOSEPH M & MILDRED E PELLISH
1059 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195935

ID. 13-28-22-31-0072
ASSMT.NO. 6194

ADELINE J NEMITZ
1069 CRESTVIEW DRIVE S
MAPLEWOOD

MN 551195935

ID. 13-28-22-31-0073
ASSMT.NO. 6194

GREGORY C LUDESCHER &
LAURA L LUDESCHER
1011 CRESTVIEW DRIVE S
ST PAUL

MN 551195935

ID. 13-28-22-31-0075
ASSMT.NO. 6194

BARBARA COURTEAU
962 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193608

ID. 13-28-22-31-0076
ASSMT.NO. 6194

DANIEL R TOWLE
MELANIE F TOWLE
972 LAKEWOOD DRIVE S
MAPLEWOOD

MN 551195961

ID. 13-28-22-31-0077
ASSMT.NO. 6194

JLDITH D ALLES
982 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193608

ID. 13-28-22-31-0078
ASSMT.NO. 6194

ID. 13-28-22-31-0079
ASSMT.NO. 6194

GENE MCNAMARA
DANA MCNAMARA
1120 SIBLEY ST #2
HASTINGS

MN 550332819

JOHN H MCNAMARA
ELIZABETH H MCNAMARA
1671 LEONE AVE
ST PAUL

MN 551066847

ID. 13-28-22-31-0080
ASSMT.NO. 6194

ID. 13-28-22-31-0082
ASSMT.NO. 6194

JAMES A FISCHER
MARY LEE FISCHER
2406 HIGHWOOD AVE
ST PAUL

MN 551195802

MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905

ID. 13-28-22-31-0083
ASSMT.NO. 6194

ID. 13-28-22-31-0084
ASSMT.NO. 6194

MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905

MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905

ID. 13-28-22-31-0085
ASSMT.NO. 6194

ID. 13-28-22-31-0086
ASSMT.NO. 6194

MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905

MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905

ID. 13-28-22-31-0087
ASSMT.NO. 6194

ID. 13-28-22-31-0088
ASSMT.NO. 6194

MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905

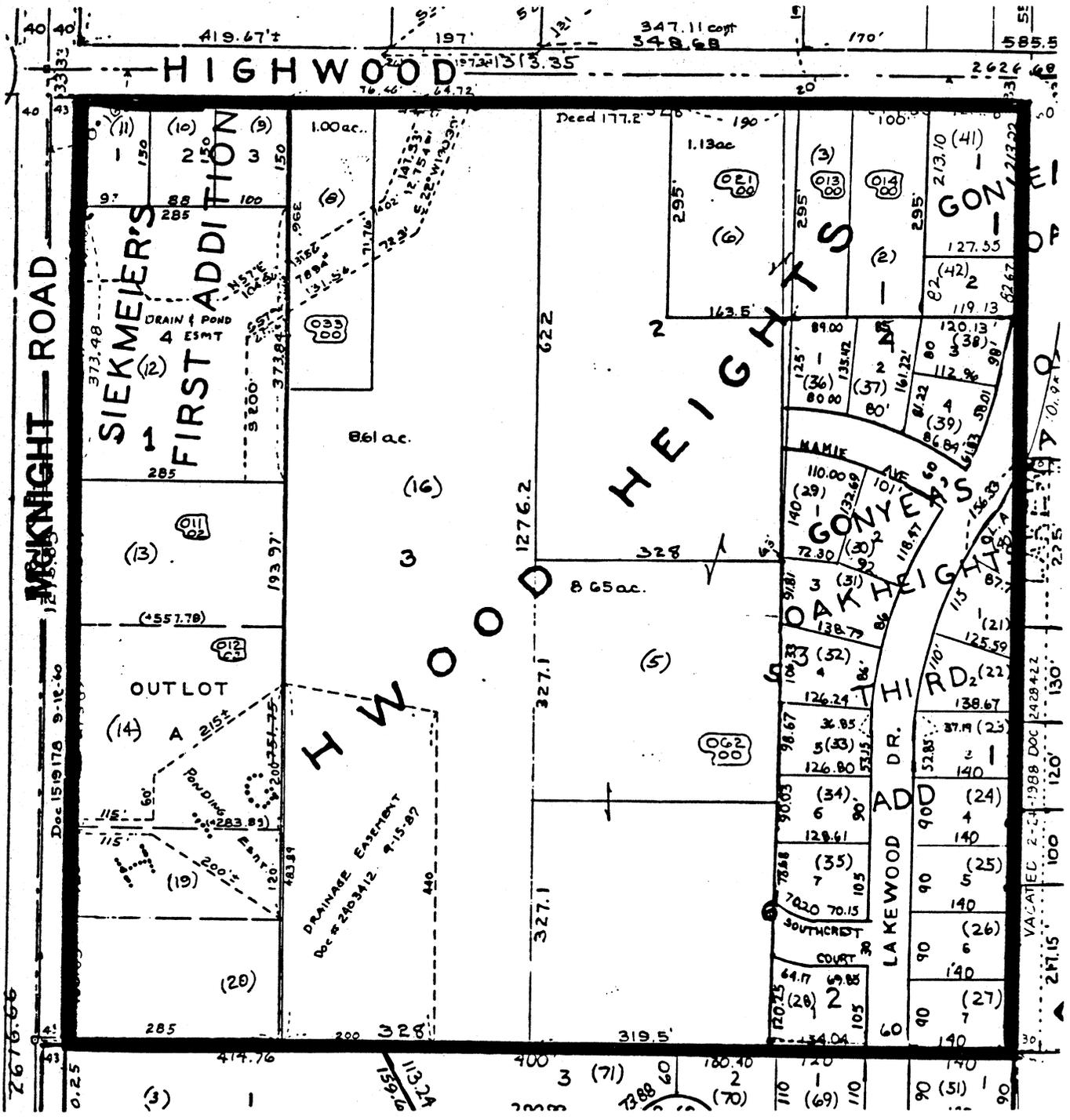
MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905

ID. 13-28-22-31-0089
ASSMT.NO. 6194

MICHAEL A HAFNER
JEAN M HAFNER
2175 7TH AVE E
NORTH ST PAUL

MN 551093905



Q/Q 32

Notification Area Map

**PROJECT 90-10
HIGHWOOD-McKNIGHT OUTLET**

SCALE
N/A



PHILIP D ZOLLINGER
2350 HIGHWOOD AVE
ST PAUL MN

551195802

ID. 13-28-22-32-0003
ASSMT.NO. 6194

ID. 13-28-22-32-0005
ASSMT.NO. 6194

PAUL & MARY J KAUFENBERG
2348 HIGHWOOD AVE
ST PAUL MN

551195802

RAYMOND R & MARY LEE T
MAIDA
2322 HIGHWOOD AVE
ST PAUL MINN

551195802

ID. 13-26-22-32-0006
ASSMT.NO. 6194

ID. 13-28-22-32-0008
ASSMT.NO. 6194

ALLEN & JEANETTE SCHMIDT
2344 HIGHWOOD AVE
ST PAUL MINN

551195802

DANIEL H & CLAIRE A SOLEM
2292 HIGHWOOD AVE
ST PAUL MN

551195802

ID. 13-28-22-32-0009
ASSMT.NO. 6194

ID. 13-28-22-32-0010
ASSMT.NO. 6194

ROGER H NELSON
6048 UPPER AFTON RD
WOODBURY MN

551251162

EDWARD J & VIRGINIA K HILDEBRANDT
2270 HIGHWOOD AVE
ST PAUL

MN 551195802

ID. 13-28-22-32-0011
ASSMT.NO. 6194

ID. 13-28-22-32-0012
ASSMT.NO. 6194

CARL J & ELEANOR B SEIDEL
2110 HIGHLAND PKWY
ST PAUL MINN

551161311

SHARON LILLMARS LAMB
980 MCKNIGHT ROAD S
MAPLEWOOD

MN 551195940

ID. 13-28-22-32-0013
ASSMT.NO. 6194

ID. 13-28-22-32-0014
ASSMT.NO. 6194

ROBERT K HOSKINS
KAY M HOSKINS
1020 MCKNIGHT ROAD S
MAPLEWOOD

MN 551195940

BETTY LOU ROOS
1050 MCKNIGHT ROAD S
MAPLEWOOD

MN 551195940

ID. 13-28-22-32-0016
ASSMT.NO. 6194

ID. 13-28-22-32-0019
ASSMT.NO. 6194

ROBERT F & CATHERINE A NELSON &
ARVILLA D & LOWELL D NELSON &
DAVID W & AUDREY S FRENCH &
ROGER D & CLARA LEE ANDERSON
1728 LINDIG ST
ST PAUL

MN 551135529

JCE J WENDL
DELORES I WENGL
1060 MCKNIGHT RD S
MAPLEWOOD

MN 551195940

ID. 13-28-22-32-0020
ASSMT.NO. 6194

ID. 13-28-22-32-0021
ASSMT.NO. 6194

RICHARD N & NELLIE MAE BCLINGER
1070 MCKNIGHT ROAD S
MAPLEWOOD

MN 551195940

LEONARD J SCHWEICH
ELIZABETH M SCHWEICH
1C22 LAKEWOOD DRIVE S
MAPLEWOOD

MN 551195961

ID. 13-28-22-32-0022
ASSMT.NO. 6194

ID. 13-28-22-32-0023
ASSMT.NO. 6194

PAUL M PATNAUDE
NICHELE F PATNAUDE
1620 HIGHWAY 36 W
ROSEVILLE

MN 551134002

GONYEA DEVELOPMENT COMPANY
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-32-0024
ASSMT.NO. 6194

ID. 13-28-22-32-0025
ASSMT.NO. 6194

ALFRED WEHRSDORFER JR
1052 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193608

BRIAN D SINN
JEANNE M COLBURN SINN
1062 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193608

ID. 13-28-22-32-0026
ASSMT.NO. 6194

ID. 13-28-22-32-0027
ASSMT.NO. 6194

WILLIAM M DUPRE
JENNIFER L DUPRE
1072 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193608

JEFFREY T BOSTON
NICHELE K BOSTON
1314 MARQUETTE AVE #1007
MPLS

MN 554034105

ID. 13-28-22-32-0028
ASSMT.NO. 6194

ID. 13-28-22-32-0029
ASSMT.NO. 6194

CRAIG M MOTZ
CHRISTINE M MOTZ
1061 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193607

SHERYL R LISTUL
EDWARD SMOLIAK
NORLA M SMOLIAK
2352 MAMIE AVE
MAPLEWOOD

MN 551195958

ID. 13-28-22-32-0030
ASSMT.NO. 6194

ID. 13-28-22-32-0031
ASSMT.NO. 6194

PAUL C MADSON
DEBRA S COHN-MADSON
2360 MAMIE AVE
MAPLEWOOD

MN 551195958

DEBRA K AAMODT
CRAIG T STEINECK
1021 LAKEWOOD DRIVE S
MAPLEWOOD

MN 551195965

ID. 13-28-22-32-0032
ASSMT.NO. 6194

ID. 13-28-22-32-0033
ASSMT.NO. 6194

ROBERT P PLATZER
THERESA H PLATZER
2647 MAYER LANE
MAPLEWOOD

MN 551194762

DAWN T DUERRE
TODD S EKSTROM
1043 LAKEWOOD DRIVE S
MAPLEWOOD

MN 551195965

ID. 13-28-22-32-0034
ASSMT.NO. 6194

ID. 13-28-22-32-0035
ASSMT.NO. 6194

STEVEN R WILLIS
MARCIA C WILLIS
1053 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193607

PATRICK M YOUNG
JOANN R YOUNG
1063 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193607

ID. 13-28-22-32-0036
ASSMT.NO. 6194

ID. 13-28-22-32-0037
ASSMT.NO. 6194

RAYMOND S REEVES SR
GLADYS M REEVES
2347 MAMIE AVE
MAPLEWOOD

MN 551195959

CHARLES L LAUREN
LERRAINE M LAUREN
2357 MAMIE AVE
MAPLEWOOD

MN 551195959

ID. 13-28-22-32-0038
ASSMT.NO. 6194

GERALD R HARDING
MERRIDEE R HARDING
1042 WAKEFIELD AVE
ST PAUL

MN 551065626

ID. 13-28-22-32-0039
ASSMT.NO. 6194

JAMES F DUCHARME
CYNTHIA M DUCHARME
1001 LAKEWOOD DRIVE S
MAPLEWOOD

MN 551195965

ID. 13-28-22-32-0040
ASSMT.NO. 6194

GONYEA DEVELOPMENT COMPANY
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-32-0041
ASSMT.NO. 6194

ELGENE P HUSNICK
LAURA K HUSNICK
2374 HIGHWOOD AVE
ST PAUL

MN 551195802

ID. 13-28-22-32-0042
ASSMT.NO. 6194

WAYNE W HAAS
TAMARA M HAAS
4900 GRENWICH TRAIL N
DAKDALE

MN 551282013

ID. 13-28-22-33-0003
ASSMT.NO. 6194

BRIAN M REMBISH
BRENDA J MESSIER
1090 MCKNIGHT ROAD S
MAPLEWOOD

MN 551195940

ID. 13-28-22-33-0004
ASSMT.NO. 6194

RALPH J CURELLA
PAULA J CURELLA
1100 MCKNIGHT ROAD S
MAPLEWOOD

MN 551195940

ID. 13-28-22-33-0005
ASSMT.NO. 6194

RALPH J CURELLA
PAULA J CURELLA
1100 MCKNIGHT ROAD S
MAPLEWOOD

MN 551195940

ID. 13-28-22-33-0006
ASSMT.NO. 6194

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

ID. 13-28-22-33-0007
ASSMT.NO. 6194

GEORGE W ANDERSEN
DARLO J ANDERSEN
2265 MOORLAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0008
ASSMT.NO. 6194

TERRY M ENGFER
NANCY U ENGFER
2277 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0009
ASSMT.NO. 6194

DONALD R MONSON
DEBRA A MONSON
2285 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0010
ASSMT.NO. 6194

DAVID R WEGNER
GAIL L WEGNER
2299 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0011
ASSMT.NO. 6194

GREGORY E BUBB
CAROL L BUBB
2309 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0012
ASSMT.NO. 6194

JAMES L ZAWACKI
LINDA M WESTBERG
2319 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0013
ASSMT.NO. 6194

JOHN W LARSON
GEORGIANNA L LARSON
2324 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0014
ASSMT.NO. 6194

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

ID. 13-28-22-33-0015
ASSMT.NO. 6194

JOHN T KISCH
KATHLEEN C KISCH
2308 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0016
ASSMT.NO. 6194

MICHAEL R OHLHAUSER
MARGARET A OHLHAUSER
2300 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0017
ASSMT.NO. 6194

THOMAS D PETERSON
JCAN K HANSON
1743 6TH ST E
ST PAUL

MN 551064931

ID. 13-28-22-33-0018
ASSMT.NO. 6194

ID. 13-28-22-33-0019
ASSMT.NO. 6194

EDWARD P FITZGERALD
DANINE J FITZGERALD
2284 MORELAND COURT
MAPLEWOOD

MN 551195957

GARY R SCHWARTZ
JACQUELINE P SCHWARTZ
2276 MORELAND COURT
MAPLEWOOD

MN 551195957

ID. 13-28-22-33-0020
ASSMT.NO. 6194

ID. 13-28-22-33-0021
ASSMT.NO. 6194

HUNG N NGUYEN
NHU C DUONG
2268 MORELAND COURT
MAPLEWOOD

MN 551195957

MILTON GLOFF
DARLENE F GLOFF
C/O GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

ID. 13-28-22-33-0022
ASSMT.NO. 6194

ID. 13-28-22-33-0023
ASSMT.NO. 6194

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

RICHARD DAYKIN
MARGARET M DAYKIN
2271 SNOWSIDE LANE
MAPLEWOOD

MN 551195956

ID. 13-28-22-33-0024
ASSMT.NO. 6194

ID. 13-28-22-33-0025
ASSMT.NO. 6194

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

JAY L ANDERSON
CATHERINE ANDERSON
2287 SNOWSHOE LANE
MAPLEWOOD

MN 551195956

ID. 13-28-22-33-0026
ASSMT.NO. 6194

ID. 13-28-22-33-0027
ASSMT.NO. 6194

JEFFREY B CARVER
JULIANNE M CARVER
2293 SNOWSHOE LANE
MAPLEWOOD

MN 551195956

JOHN S HANKS
PAMELA A HANKS
2299 SNOWSHOE LANE
MAPLEWOOD

MN 551195956

ID. 13-28-22-33-0028
ASSMT.NO. 6194

ID. 13-28-22-33-0029
ASSMT.NO. 6194

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

RICHARD J CARLSON
2311 SNOWSHOE LANE
MAPLEWOOD

MN 551195956

ID. 13-28-22-33-0030
ASSMT.NO. 6194

ID. 13-28-22-33-0031
ASSMT.NO. 6194

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

POLLY M SMITH
2262 SNOWSHOE LANE
MAPLEWOOD

MN 551195900

ID. 13-28-22-33-0032
ASSMT.NO. 6194

ID. 13-28-22-33-0033
ASSMT.NO. 6194

J PETER WINDEY
SHARON J WINDEY
2270 SNOWSHOE LANE
MAPLEWOOD

MN 551195900

MICHAEL KOROLCHUK
AGNES D KOROLCHUK
2278 SNOWSHOE LANE
MAPLEWOOD

MN 551195900

ID. 13-28-22-33-0034
ASSMT.NO. 6194

ID. 13-28-22-33-0035
ASSMT.NO. 6194

GURTEK CONSTRUCTION
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

GURTEK CONSTRUCTION
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

ID. 13-28-22-33-0036
ASSMT.NO. 6194

ID. 13-28-22-33-0037
ASSMT.NO. 6194

MICHAEL J WEBSTER
LORI A WEBSTER
2298 SNOWSHOE LANE
MAPLEWOOD

MN 551195900

GURTEK CONSTRUCTION
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

ID. 13-28-22-33-0038
ASSMT.NO. 6194

ID. 13-28-22-33-0039
ASSMT.NO. 6194

STEVEN A ST MARTIN
NANCY J ST MARTIN
2310 SNOWSHOE LANE
MAPLEWOOD

MN 551195900

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

ID. 13-28-22-33-0040
ASSMT.NO. 6194

ID. 13-28-22-33-0041
ASSMT.NO. 6194

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

GURTEK CONSTRUCTION INC
450 COUNTY ROAD D W
NEW BRIGHTON

MN 551123522

ID. 13-28-22-33-0051
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0052
ASSMT.NO. 6194

ID. 13-28-22-33-0053
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0054
ASSMT.NO. 6194

ID. 13-28-22-33-0055
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0056
ASSMT.NO. 6194

ID. 13-28-22-33-0057
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

CCNLIN CONSTRUCTION INC
6030 50TH ST N
OAKDALE

MN 551281337

ID. 13-28-22-33-0058
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0059
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0060
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0061
ASSMT.NO. 6194

MCDONALD CONSTRUCTION INC
1212 BLUEBILL BAY ROAD
BURNSVILLE

MN 553375155

ID. 13-28-22-33-0062
ASSMT.NO. 6194

JEROLD E FREVEL
JOY D FREVEL
1573 COHANSEY ST #204
ST PAUL

MN 551173584

ID. 13-28-22-33-0063
ASSMT.NO. 6194

GALEN C BRITZ
KATHERINE W BRITZ
1169 LAKEWOOD DRIVE S
MAPLEWOOD

MN 551195967

ID. 13-28-22-33-0064
ASSMT.NO. 6194

ROGER O DAHLIN
MARVIS S DAHLIN
1121 QUENTIN AVE S
LAKELAND

MN 550439526

ID. 13-28-22-33-0065
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0066
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0069
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0070
ASSMT.NO. 6194

MARK A SOLHEIM
CHRISTINE M SOLHEIM
2339 OAK HEIGHTS COURT
MAPLEWOOD

MN 551195960

ID. 13-28-22-33-0071
ASSMT.NO. 6194

BRUCE B CUNNINGHAM
PAMELA J CUNNINGHAM
2329 OAK HEIGHTS COURT
MAPLEWOOD

MN 551195960

ID. 13-28-22-33-0072
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE SUITE B
MPLS

MN 554031145

ID. 13-28-22-33-0073
ASSMT.NO. 6194

SHERYL A LINDERT
2334 OAK HEIGHTS COURT
MAPLEWOOD

MN 551195960

ID. 13-28-22-33-0074
ASSMT.NO. 6194

BRADLEY A SKATTER
KARI K SKATTER
2342 OAK HEIGHTS COURT
MAPLEWOOD

MN 551195960

ID. 13-28-22-33-0075
ASSMT.NO. 6194

GEORGE A ANDRES
JULIE D ANDRES
1113 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193607

ID. 13-28-22-33-0076
ASSMT.NO. 6194

TODD J SANDELL
LURI L SANDELL
1123 LAKEWOOD DRIVE
MAPLEWOOD

MN 551193607

ID. 13-28-22-33-0077
ASSMT.NO. 6194

KENNETH B GOODNER
JUDITH A GOODNER
1133 LAKEWOOD DR S
MAPLEWOOD

MN 551195967

ID. 13-28-22-33-0078
ASSMT.NO. 6194

RANDY S WELCH
2341 SNOWSHOE LANE
MAPLEWOOD

MN 551195956

ID. 13-28-22-33-0079
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0080
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-33-0081
ASSMT.NO. 6194

GONYEA DEVELOPMENT CO
50 GROVELAND TERRACE
MPLS

MN 554031145

ID. 13-28-22-34-0001
ASSMT. NO. 6194

ID. 13-28-22-34-0003
ASSMT. NO. 6194

CITY OF MAPLEWOOD
1830 EAST COUNTY ROAD B
MAPLEWOOD MN 55109

NEW IMAGE BUILDERS INC
P O BOX 41991
MINNEAPOLIS MN 55441-0991

ID. 13-28-22-34-0004
ASSMT. NO. 6194

ID. 13-28-22-34-0005
ASSMT NO. 6194

NEW IMAGE BUILDERS INC
P O BOX 41991
MINNEAPOLIS MN 55441-0991

NEW IMAGE BUILDERS INC
P O BOX 41991
MINNEAPOLIS MN 55441-0991

ID. 13-28-22-34-0006
ASSMT. NO. 6194

ID. 13-28-22-34-0007
ASSMT. NO. 6194

NEW IMAGE BUILDERS INC
P O BOX 41991
MINNEAPOLIS, MN 55441-0991

NEW IMAGE BUILDERS INC
P O BOX 41991
MINNEAPOLIS MN 55441-0991

ID. 13-28-22-42-0004
ASSMT.NO. 6194

ID. 13-28-22-42-0005
ASSMT.NO. 6194

WILLIAM M HAMMETT
ELIZABETH A HAMMETT
668 FERNDAL ST
MAPLEWOOD

MN 551193807

THOMAS A GIBSON
JELDRES D GIBSON
976 FERNDAL ST
MAPLEWOOD

MN 551193807

ID. 13-28-22-42-0006
ASSMT.NO. 6194

ID. 13-28-22-42-0007
ASSMT.NO. 6194

KENNETH R HEUTMAKER
BEVERLY A HEUTMAKER
984 FERNDAL ST S
MAPLEWOOD

MN 551195950

ROGER H MUNTIFERING
SHEILA M MUNTIFERING
1111 5TH ST
ST PAUL

MN 551065343

ID. 13-28-22-42-0008
ASSMT.NO. 6194

ID. 13-28-22-42-0009
ASSMT.NO. 6194

TILSEN HOMES INC
627 SNEILING AVE S
ST PAUL

MN 551161529

RUSSELL L GARVEY
DARLA K GARVEY
1008 FERNDAL ST S
MAPLEWOOD

MN 551195950

ID. 13-28-22-42-0010
ASSMT.NO. 6194

ID. 13-28-22-42-0011
ASSMT.NO. 6194

BRADLEY J SCHLIESING
POLLY A MEYER
967 FERNDAL ST
MAPLEWOOD

MN 551193805

ROBERT S TILSEN
627 SNEILING AVE S
ST PAUL

MN 551161529

ID. 13-28-22-42-0012
ASSMT.NO. 6194

ID. 13-28-22-42-0013
ASSMT.NO. 6194

LEROY J ZIPKO
FLORENTINE A ZIPKO
983 FERNDAL ST
MAPLEWOOD

MN 551193870

ANN M FEUERSTEIN
991 FERNDAL ST S
MAPLEWOOD

MN 551195951

ID. 13-28-22-42-0014
ASSMT.NO. 6194

ID. 13-28-22-42-0015
ASSMT.NO. 6194

MICHAEL J HOLM
LINDA M HOLM
999 FERNDAL ST S
MAPLEWOOD

MN 551193870

DARYL R RICK
JANICE A RICK
1007 FERNDAL ST S
MAPLEWOOD

MN 551195951

ID. 13-28-22-42-0016
ASSMT.NO. 6194

ID. 13-28-22-42-0017
ASSMT.NO. 6194

GRAZYNA A STEPIEN
HENRYK P STEPIEN
1014 MCCLELLAND AVE
MAPLEWOOD

MN 551195954

DAVID L SCHAD
GINA M SCHAD
183 MCKNIGHT ROAD N #209
ST PAUL

MN 551196641

ID. 13-28-22-42-0018
ASSMT.NO. 6194

ID. 13-28-22-42-0019
ASSMT.NO. 6194

JEFFREY C SOUTHWARD
SANDRA M SOUTHWARD
998 MCCLELLAND AVE S
MAPLEWOOD

MN 551195954

TILSEN HOMES INC
627 SNEILING AVE S
ST PAUL

MN 551161529

THOMAS B MILLER
SANDRA J MILLER
982 MCCLELLAND ST
MAPLEWOOD

MN 551195954

TILSEN HOMES INC
627 SNEILING AVE S
ST PAUL

MN 551161529 -

ID: 13-28-22-42-0022
ASSMT.NO. 6194

ID: 13-28-22-42-0023
ASSMT.NO. 6194

TILSEN HOMES INC
627 SNEILING AVE S
ST PAUL

MN 551161529

JAMES P FELIX
BONITA D FELIX
965 MCCLELLAND AVE S
MAPLEWOOD

MN 551195955

ID: 13-28-22-42-0024
ASSMT.NO. 6194

ID: 13-28-22-42-0025
ASSMT.NO. 6194

KENT W JEFFERSON CONSTRUCTION INC
4530 HIGHWAY 61
WHITE BEAR LAKE

MN 551103424

RICHARD J TETZLAFF
CRAIG A TETZLAFF
6095 COURTY ALCOVE
WOODBURY

MN 551253931

ID: 13-28-22-42-0026
ASSMT.NO. 6194

ID: 13-28-22-42-0027
ASSMT.NO. 6194

ROGER GUNDERSON
RICHARD J TETZLAFF
23550 MELANIE TRAIL N
SCANDIA

MN 550739745

STEPHEN R JELINEK
SUZANNE M JELINEK
2355 DURLAND PLACE
MAPLEWOOD

MN 551195564

ID: 13-28-22-42-0028
ASSMT.NO. 6194

ID: 13-28-22-42-0029
ASSMT.NO. 6194

ROGER GUNDERSON
RICHARD J TETZLAFF
23550 MELANIE TRAIL N
SCANDIA

MN 550739745

LINDA L RAVEN
1013 MCCLELLAND ST
MAPLEWOOD

MN 551195955

ID: 13-28-22-42-0030
ASSMT.NO. 6194

ID: 13-28-22-42-0031
ASSMT.NO. 6194

ANDREW H RANGITSCH
EMILY R RANGITSCH
1002 ODAY ST S
MAPLEWOOD

MN 551195952

SCOTT W THURY
THERESA J THURY
994 ODAY ST
MAPLEWOOD

MN 551195952

ID: 13-28-22-42-0032
ASSMT.NO. 6194

ID: 13-28-22-42-0033
ASSMT.NO. 6194

ARIAN L MORGAN
586 O DAY ST S
MAPLEWOOD

MN 551195952

STANLEY G ALLISON
LEILA M ALLISON
978 O DAY ST
MAPLEWOOD

MN 551195952

ID: 13-28-22-42-0034
ASSMT.NO. 6194

ID: 13-28-22-42-0035
ASSMT.NO. 6194

TILSEN HOMES INC
627 SNEILING AVE S
ST PAUL

MN 551161529

RICKY A NELSON
SUZANNE M NELSON
971 O DAY ST S
MAPLEWOOD

MN 551195953

ID. 13-28-22-42-0036
ASSMT.NO. 6194

ID. 13-28-22-42-0037
ASSMT.NO. 6194

RICHARD H BERLING
ROBYN R BERLING
979 O DAY ST S
ST PAUL

MN 551195953

LEROY M HAUBLE
3025 DEVONSHIRE DRIVE
WOODBURY

MN 551252490

ID. 13-28-22-42-0038
ASSMT.NO. 6194

ID. 13-28-22-42-0039
ASSMT.NO. 6194

CHARLES R CLEVELAND
995 O DAY ST S
MAPLEWOOD

MN 551195953

TADEUSZ WEGIER
IRENA WEGIER
1003 O DAY ST ST
MAPLEWOOD

MN 551195953

AGENDA REPORT

Action by Council:

To: City Manager Michael McGuire
From: Director of Public Safety Kenneth V. Collins *KVC*
Subject: Purchase of Marked Patrol Vehicles
Date: February 14, 1992

Endorsed _____
Modified _____
Rejected _____
Date _____

Introduction

Money was allocated in the 1992 budget to purchase patrol vehicles.

We, therefore, request authorization to purchase 1992 marked patrol vehicles, five for the Patrol Division, two for the Paramedic Division, and one for the Fire Marshal.

Background

The Police Department can purchase patrol vehicles at only one time during the year.

The purchases are made in conjunction with the State of Minnesota, the City of St. Paul, Ramsey County, Washington County, and many Ramsey and Washington County cities.

The bid was awarded to Polar Chevrolet.

The vehicles must now be ordered for delivery in June or July.

Recommendation

As this is the only time during 1992 that we can purchase these vehicles, we recommend that authorization be given to make this purchase.

Action Required

We recommend that this be presented to the City Council for their approval.

KVC:js

Action by Council:

J-1

MEMORANDUM

Endorsed _____
Modified _____
Rejected _____
Date _____

TO: City Manager
FROM: Ken Roberts, Associate Planner
SUBJECT: Conditional Use Permit & Home Occupation License Review
LOCATION: 2194 Van Dyke St.
DATE: February 17, 1992

INTRODUCTION

The City approved a conditional use permit and home occupation license for Mr. Ronald Launderville of 2194 Van Dyke Street on January 28, 1991. The City required that the Council review the permit and license in one year. The permit is to park a tow truck at his home. The license is to operate a towing business there. (Refer to the conditions on page 7.)

BACKGROUND

November 5, 1991: City staff approved a four-foot front setback variance to allow the the construction of a new garage addition. The City required the construction of this garage as part of the conditional use permit. The City issued a building permit for the garage addition on November 18, 1991.

DISCUSSION

Mr. Launderville has complied with the four conditions for the conditional use permit, except number 4. Condition four requires him to have a garage built by July 28, 1991 to store his trucks. The builder is nearly done with the garage. In his letter on pages 5 and 6, Mr. Launderville states that there were some family financial problems that kept him from finishing the garage on time.

Condition Four also states, "Mr. Launderville shall remove the storage shed within one (1) month of the garage completion." Since the builder has not yet finished the garage, Mr. Launderville has not yet removed the storage shed. In his letter, Mr. Launderville states that he expects to have the storage shed removed by the end of April.

Since Mr. Launderville has not finished the garage or removed the shed, the City should review this permit in May. This review is to insure that he is following the conditions for the conditional use permit and home occupation license by that time.

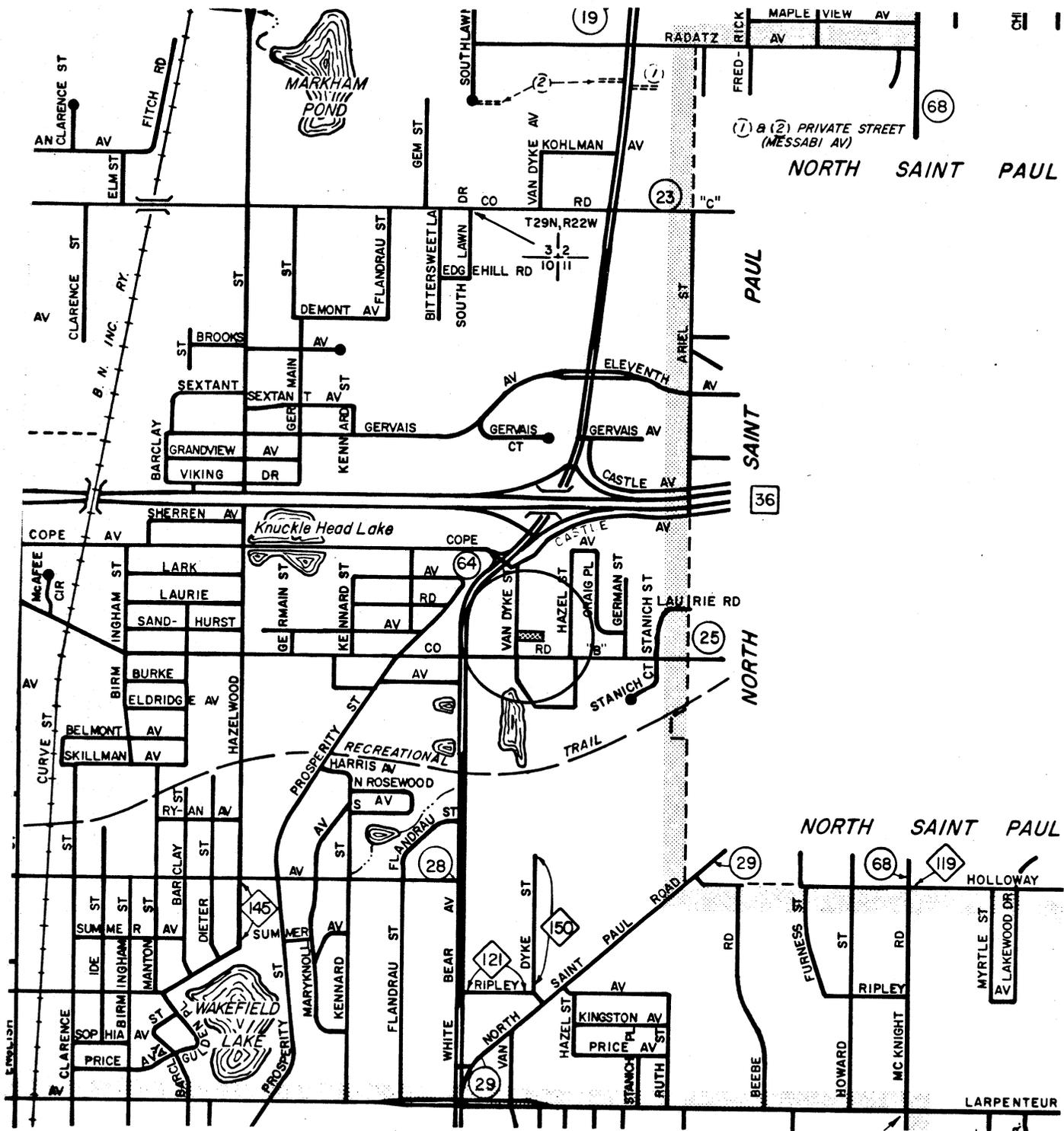
RECOMMENDATION

I recommend that the City Council review this permit and license again on May 11, 1992.

kr/memo65.mem (11)

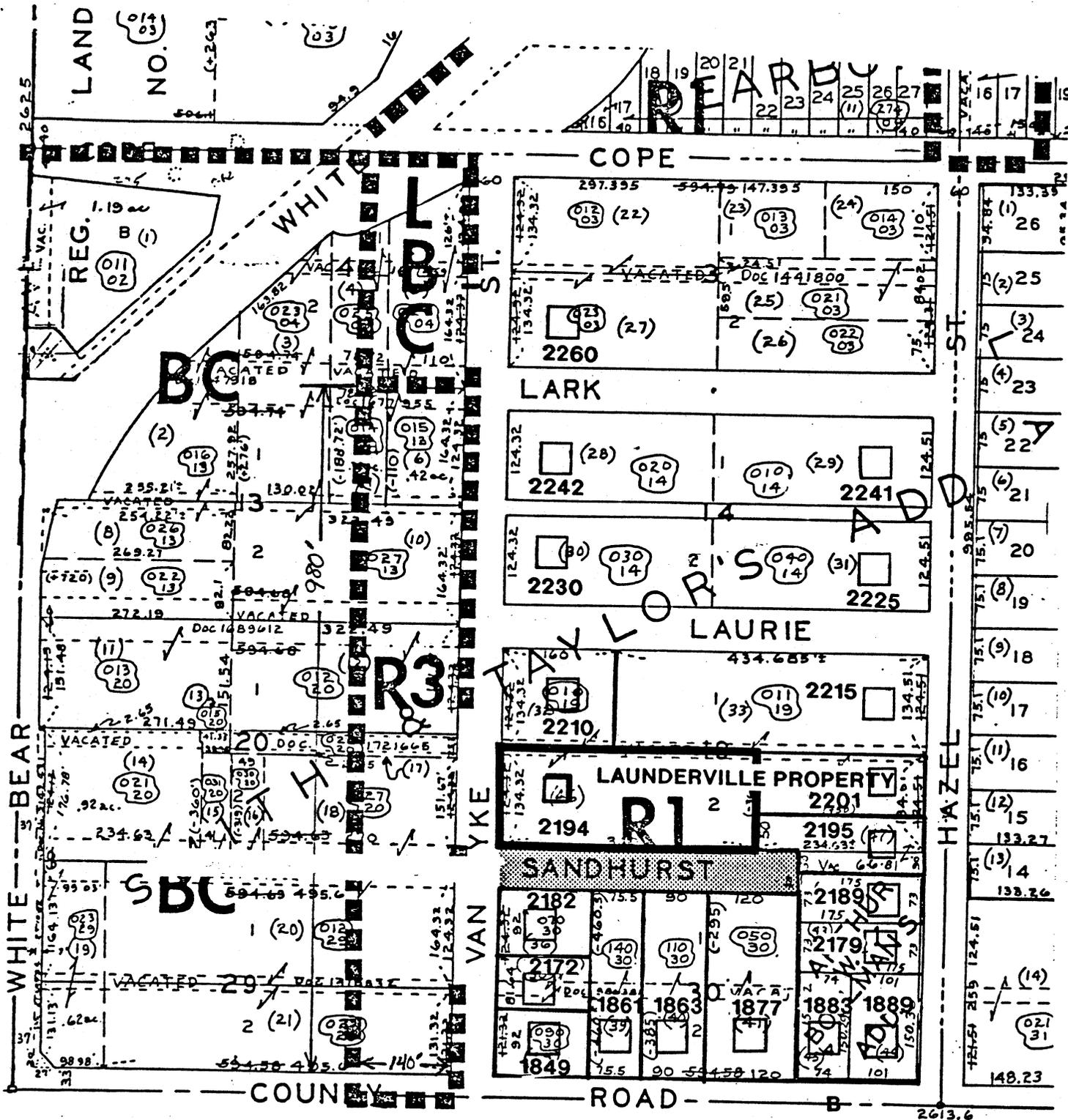
Attachments

1. Location Map
2. Property Line/Zoning Map
3. Letter from Ron Lauderville
4. 1-28-91 conditions for approval
5. Letter from Riechert



LOCATION MAP

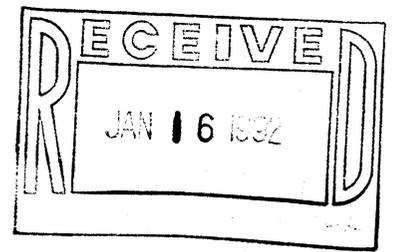




PROPERTY LINE/ZONING MAP



JAN - 13 - 1992



Tom EKstrand

Yes we want the conditional use permit
AND HOME OCCUPATION LICENSE RENEWAL -

UNDER THE CUP.

Item #2. We complied and 1 TRUCK WAS
REMOVED IN MAY 1991 -

Item #4. WE WERE UNABLE TO BUILD A
CITY APPROVED GARAGE WITHIN THE SIX MONTHS
AS STATED IN THE PERMIT.

My wife had major surgery in May
AND WITH THE EXTRA MEDICAL COST AND
OUR SON WEDDING IN OCT - WE COULDN'T
AFFORD TO BUILD AS PLANNED -

WE APPLIED FOR A BUILDING PERMIT THE FIRST
WEEK IN NOVEMBER 1991 - THE CONSTRUCTION
IS ALMOST COMPLETE - THERE ARE A FEW
THING THAT WILL HAVE TO WAIT UNTILL SPRING,
RAIN GUTTERS, DRIVEWAY, LANDSCAPING -

ROW HAD SOMEONE INTERESTED IN TAKING
THE LARGE STORAGE SHED - BUT WOULDN'T BE ABLE
TO BRING HIS EQUIPMENT IN UNTILL THE SNOW
IS GOING AND THE GROUND IS STABLE - WE ~~would~~
~~like to have~~ would hope to have it gone

by the end of April = with the weather
permitting -

WE HAVE MET ALL THE ITEMS STATED
UNDER THE HOME OCCUPATION CONDITIONS -

Tom: if there is any other information NEEDED
PLEASE CALL - RON 720-1710 -

Thanks for your help
Ron Laundersell

CUP
Conditions

Approval is subject to the following conditions:

1. The City Council shall review this permit one year from the date of approval. This permit shall end on November 1, 1992.

2. One truck must be removed by November 1, 1991. The other truck must be removed by November 1, 1992.

3. The use of the tow trucks at the property between 10:00 p.m. and 7:00 a.m. is prohibited.

4. The applicant shall have a City-approved garage completed on the property within six months of the City Council approval of this CUP. After constructing the garage, the applicant shall use it to store the tow trucks when they are on the property. Mr. Launderville shall remove the storage shed within one (1) month of the garage completion.

Seconded by Councilmember Carlson

Ayes - Mayor Bastian, Councilmembers
Carlson, Juker, Rossbach
Nays - Councilmember Zappa

h. Councilmember Rossbach moved to approve the Home Occupation License for Ronald Launderville at 2194 VanDyke Street subject to the following conditions:

1. Towed vehicles shall not be stored on this site.

2. The outdoor storage of junked vehicles and vehicle parts on the property is prohibited.

3. The storage and repair of vehicles other than the applicant's is prohibited.

4. The parking of vehicles on VanDyke Street overnight is prohibited.

5. The parking and storage of vehicles on the Sandhurst Avenue right-of-way is prohibited, unless the property owner signs a hold-harmless agreement prepared by the City.

6. Compliance with all conditions of the conditional use permit and the City's home occupation ordinance.

7. The City Council shall review this license in one year. The license shall end on November 1, 1992.

Seconded by Councilmember Carlson

Ayes - Mayor Bastian, Councilmembers
Carlson, Juker, Rossbach
Nays - Councilmember Zappa

Home
Occupation

To:

Lucille Aurelius
Gary Bastian
Ken Roberts

Date: Jan. 6, 1992

Subject: Conditional Use Permit
2194 Van Dyke St. Ronald Launderville

According to the City Council meeting held on January 28th 1991 regarding the conditional permit granted to Ronald Launderville, there should be an upcoming City Council meeting during the month of January 1992 reviewing this permit.

We, the neighbors of Ron Launderville would like to know when the review is scheduled?

We also would like to know if the City Permit Dept. is overseeing the compliance of this permit?

We have noticed that no garage was constructed within the first 6 month since the issuing of this permit. The storage shed (Semi-trailer) has not been removed and that R. Launderville is using the Sandhurst Ave. right-of-way for parking all kinds of vehicles, including his large school bus which makes the neighborhood appear junky.

Finally after 11 month in December a garage construction was started. Why was he permitted to build it so close to the street?

We would like to get answers to all of these questions.

Sincerely,



Manfred E. Riechert

2172 Van Dyke St.
777-5784

Attachment 5

MEMORANDUM

Action by Council:

TO: City Manager
FROM: Director of Community Development
SUBJECT: **Building Relocation Ordinance**
DATE: February 17, 1992

Endorsed _____
Modified _____
Rejected _____
Date _____

INTRODUCTION

City staff is requesting that the City Council approve the attached ordinance which changes a subsection of City Code on building relocation. This subsection states that the City may require someone moving a building to provide a security deposit to guarantee repair of any streets they damage. The City Attorney told me that the State prohibits the City from requiring this anymore. The State now licenses building movers and requires them to be insured.

RECOMMENDATION

Approve the attached ordinance.

go\memo38.mem (5.6)
Attachment: ordinance

ORDINANCE NUMBER

AN ORDINANCE CHANGING THE REQUIREMENT FOR STREET REPAIR ESCROWS FOR BUILDING MOVERS

The Maplewood City Council approves the following changes to the Maplewood Code of Ordinances: (I have underlined the additions and crossed out the deletions.)

Section 1. Change Section 9-64 (b) as follows:

~~(1) Cash escrow, an irrevocable letter of credit of up to one thousand dollars (\$1,000.00), or an equivalent quality of security as approved by the city council to guarantee any street repair that may be required resulting from damages caused by moving the building.~~

Section 2. Renumber subsections 9-64 (b) (2) through (5) as appropriate.

Section 3. This ordinance shall take effect upon its passage.

go\memo38.mem (5.1)

AGENDA REPORT

Action by Council:

TO: City Manager
 FROM: City Engineer
 SUBJECT: Larpenteur Avenue, I-35E to Edgerton, Project 86-27—
 Concurrence of Award
 DATE: February 18, 1992

Endorsed _____
 Modified _____
 Rejected _____
 Date _____

Ramsey County has received bids for the bridge replacement and street reconstruction on Larpenteur Avenue. Maplewood's share of the cost is comparable to that estimated at the public hearing.

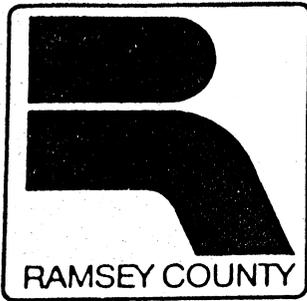
Financing for the project is as follows:

Storm sewer assessment	\$ 59,219
Street assessment	22,875
Municipal state aid	<u>98,548</u>
Maplewood's share according to agreement	\$180,642

It is recommended the city council concur in the award of the bid.

KGH

jw



Ramsey County
DEPARTMENT OF PUBLIC WORKS

3377 North Rice Street
Saint Paul, Minnesota 55126
(612) 484-9104

Divisions of:
Engineering
Maintenance
Mobile Equipment
Environmental Services

January 28, 1992

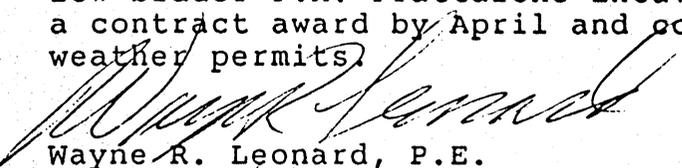
Mr. Ken Haider
City Engineer
1830 East County Road B
Maplewood, Minnesota 55109

Bid Opening - January 22, 1992; 2:00 p.m.
Larpenteur Avenue - I-35E to Edgerton Street
S.A.P. 62-630-36 & MSAP 138-020-07
Bridge No. 62554 - Larpenteur Avenue/DNR Trail at Desoto Street
S.P. 62-630-21

Accompanying is an abstract of bids received and Cost Participation Summary for the road project. We have recomputed the Cities estimated cost participation based on the low bid of F.M. Frattalone Excavating & Grading, Inc.; Frank M. Frattalone, President; 3066 Spruce Street; Little Canada, MN 55117 Phone 484-0448, Fax 484-7839.

The apparent low bidder for the bridge construction was Cy-Con, Inc., with a bid of \$453,677.00. Ten bids were received on the bridge.

In accordance with the provisions of our Agreement No. 89005 we request the Cities concurrence to award the construction of this project to the low bidder F.M. Frattalone Excavating and Grading, Inc. We anticipate a contract award by April and construction to commence as soon as weather permits.


Wayne R. Leonard, P.E.
Special Projects

WRL:ptd

Attachments

cc: SEH - Gary Grey
Bob Paine, Construction

AGENDA REPORT

Action by Council:

Endorsed _____

Modified _____

Rejected _____

Date _____

TO: City Manager

FROM: Assistant City Engineer Bruce Irish

SUBJECT: District 22 Trunk Sanitary Sewer Replacement, Project 91-10

DATE: February 18, 1992

Introduction

The subject feasibility report is presented. There are no assessments proposed. As such, consideration of the recommended improvements at the February 24, 1992 council meeting is requested.

Background

The recommended improvement is to slipline the pipe between Gervais and Beam. There is so much leakage into this pipe that it takes up about 20 percent of the pipe capacity and costs the city about \$55,000 in unnecessary treatment costs. Sliplining will correct this problem.

The report also discusses the potential of a recreation trail generally along the same corridor as the sanitary sewer. Consideration should be given as to whether, and how extensive, an auxiliary recreational trail should be included with the project. If the segment of recreational trail between Gem and Southlawn, as shown on the comprehensive plan, is to be built, then it should be built as part of this project due to its potential impact on in-place water and sewer mains.

To minimize ultimate costs, it is requested that authorization be given to include an alternative bid for sliplining of the deteriorated sewer on Larpenteur east of White Bear. Depending upon bids received, it may be cost-effective to slipline this section as part of the contract.

Recommendation

It is recommended that the project be ordered as given in the attached resolution.

BAI

jw
Attachment

RESOLUTION

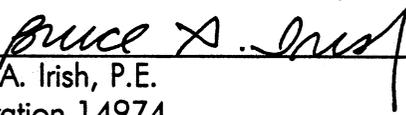
WHEREAS, pursuant to resolution of the council, a feasibility report has been prepared for the District 22 Trunk Sanitary Sewer Replacement, Project 91-10. This report was received by the council on February 24, 1992.

NOW, THEREFORE, BE IT RESOLVED that the recommended improvements should be constructed. The city engineer is directed to prepare plans and solicit bids for the work.

FURTHERMORE, a budget of \$466,000 from the sanitary sewer funds is appropriated. The costs of District 22 sanitary sewer work, estimated at \$366,000, shall be repaid to the sewer fund from the tax-increment financing of the Cottages of Maplewood—West project.

FEASIBILITY REPORT FOR
DISTRICT 22 TRUNK SANITARY
SEWER REPLACEMENT
PROJECT 91-10
MAPLEWOOD, MINNESOTA

I hereby certify that this report was prepared by me or
under my direct supervision and that I am a duly
Registered Professional Engineer under the laws of the
State of Minnesota.



Bruce A. Irish, P.E.
Registration 14974
February 14, 1992

City of Maplewood
Department of Public Works
1830 East County Road B
Maplewood, Minnesota 55109

Senior Engineering Technician

William M. Priebe

Engineering Technician

Randal K. Lindblom

DISTRICT 22 TRUNK SANITARY SEWER REPLACEMENT PROJECT 91-10

Executive Summary

The existing sanitary sewer has enough capacity for ultimate flow rates if there is not significant leakage of groundwater into the pipe. However, there is massive leakage of groundwater into the pipe. The cost currently paid to the MWCC to treat this extraneous groundwater is about \$55,000.00 per year. It is cost effective to replace or slipline this pipe. It is recommended to slipline the pipe.

Introduction

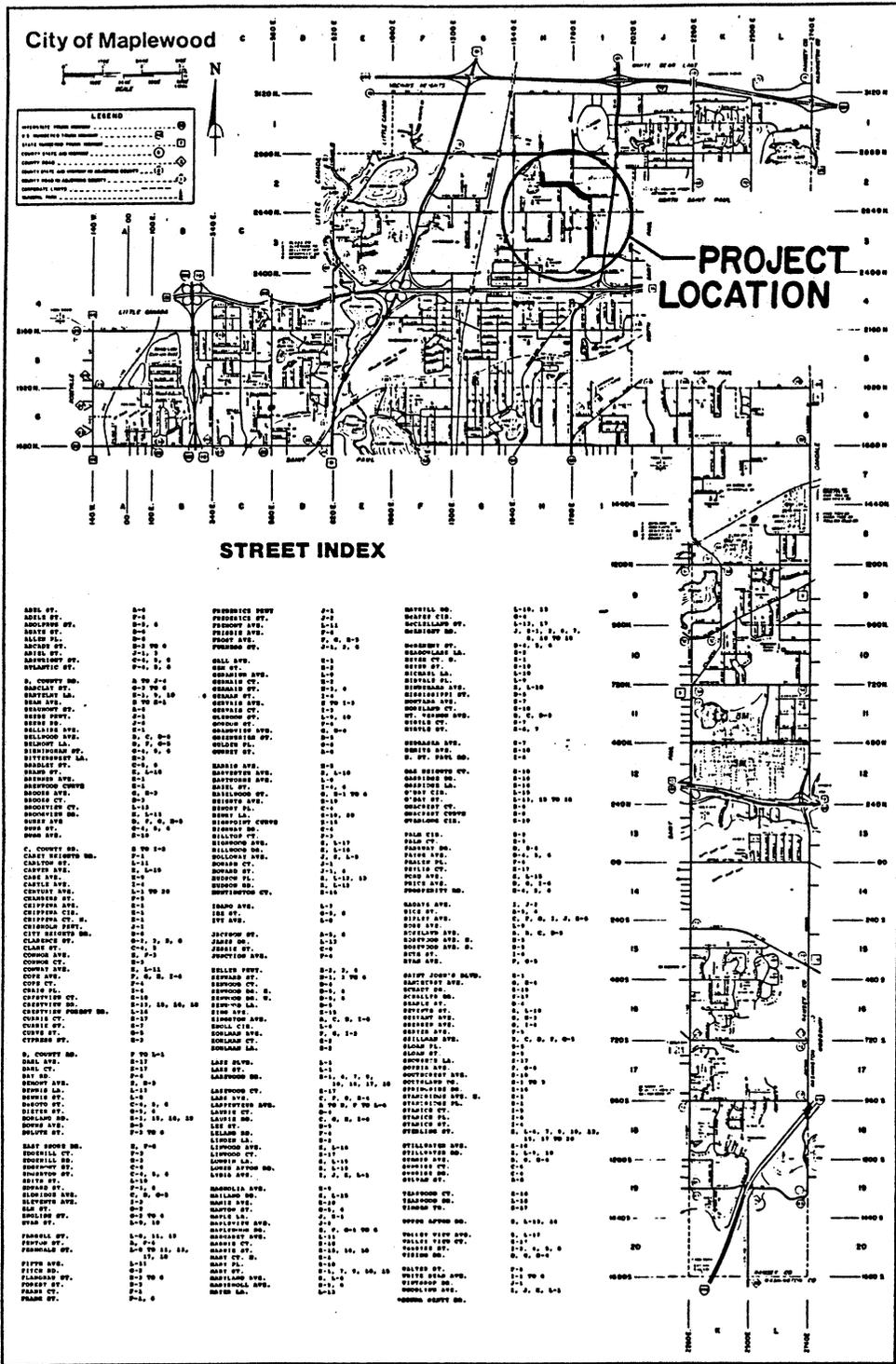
The 1974 and 1980 comprehensive sanitary sewer plans stated that the segment of sanitary sewer from Kohlman at Van Dyke to Kennard south of Beam would not have enough capacity. It was projected to not have enough capacity to handle the peak sewage flow rates at ultimate development of its tributary area, District 22. Figure 1 shows the general location of this sewer. Figures 2 and 3 show the trunk sewer as part of the sanitary sewer system.

The largest tract of undeveloped land remaining in the tributary area is now proposed for development. This feasibility report evaluates the condition of the existing trunk sewer and proposed methods to correct problems.

Existing Condition

An analysis was made using actual water consumption records for developed properties. The sewage flow at ultimate development of undeveloped or currently unused (e.g., Wards) parcels were accounted for by factors of 1000 gallons per day (gpd) per acre for commercial uses and 275 gpd for each residential property. A flow rate of 1500 gpd per acre is typical for commercial properties in Maplewood. The lesser unit rate was used to offset the over-conservatism of the assumption that all flow sources reach their daily peak at the same time. A peak factor of 4.0 was used in accordance with Ten States Standards.

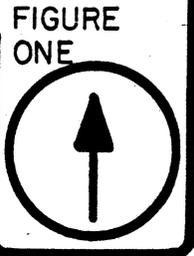
Currently accepted standards for allowable infiltration of groundwater into the pipes was also included in the calculations at 100 gpd per inch-diameter of pipe per mile of length. It must be emphasized that the infiltration and cumulative flow rates shown are not what exists, but what would be expected if the pipe met current standards for watertightness. Table one gives the results of the flow projections in comparison with the existing pipe capacities.

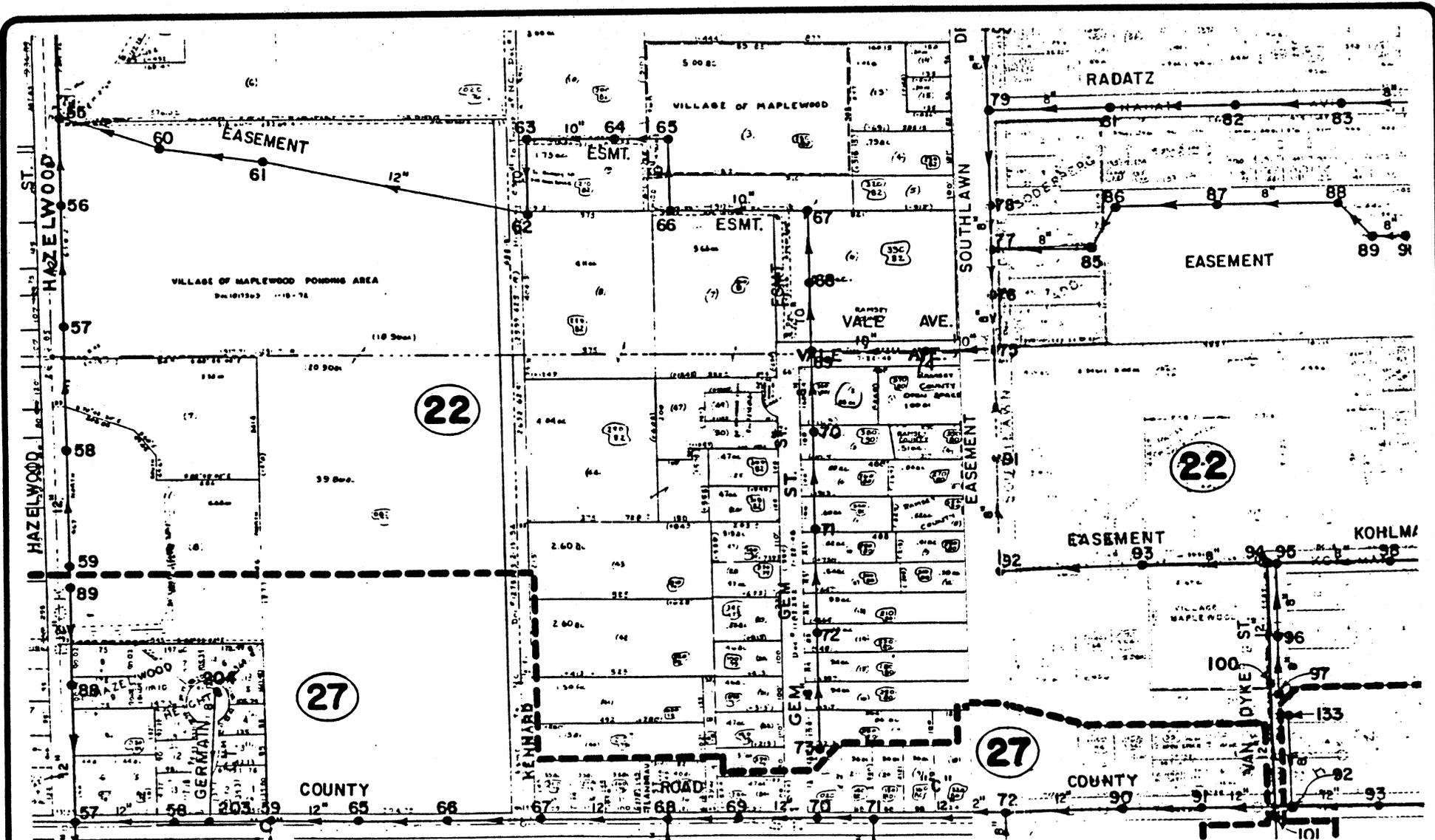


GENERAL LOCATION MAP

**PROJECT 91-10
DISTRICT 22 TRUNK
SANITARY SEWER REPLACEMENT**

Scale: NONE
Date: 2-24-92



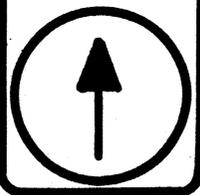


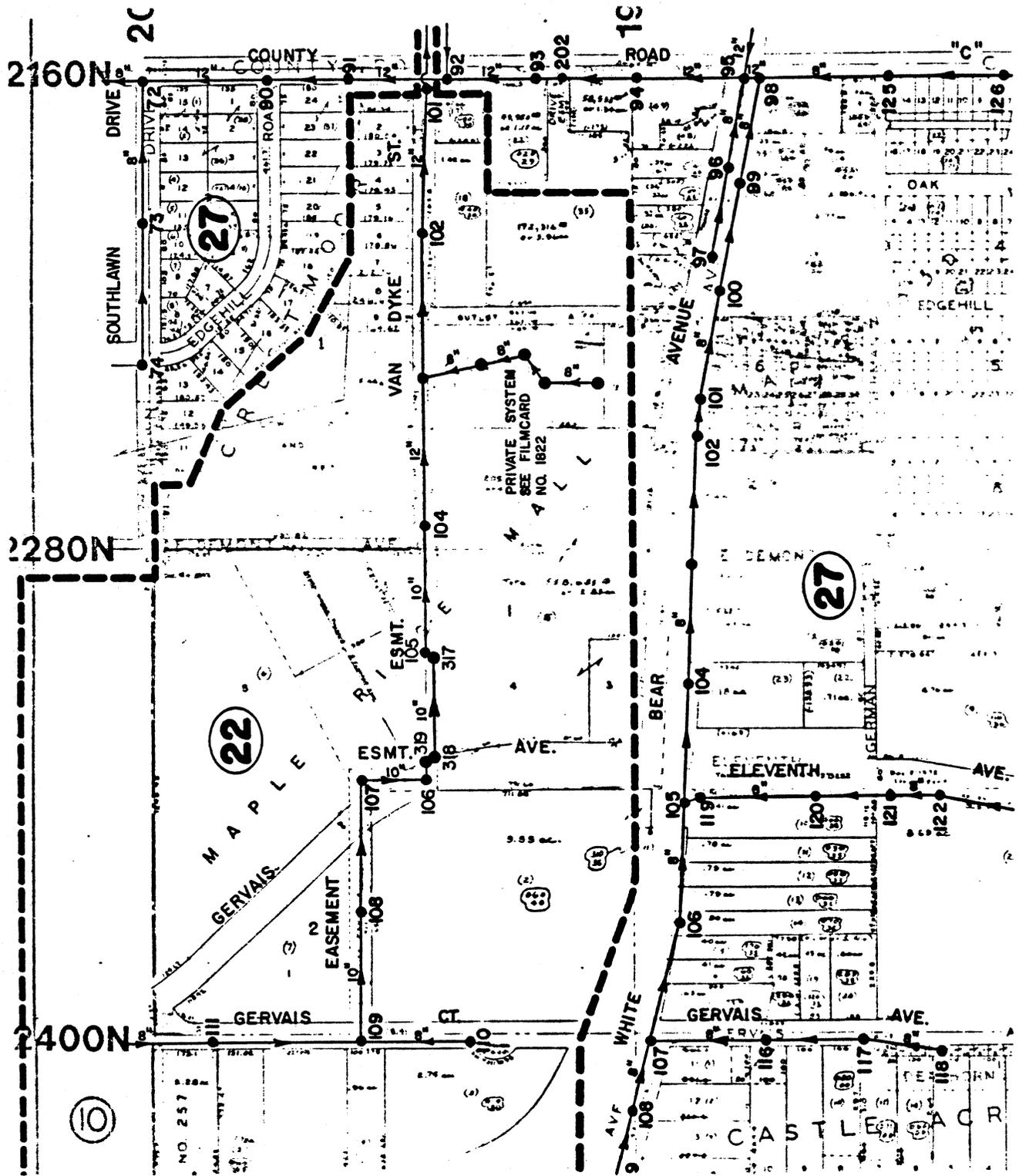
EXISTING SANITARY SEWER

FIGURE TWO

PROJECT 91-10
DISTRICT 22 TRUNK SANITARY SEWER REPLACEMENT

Scale: 1"=400'
 Date: 2-24-92





EXISTING SANITARY SEWER

**PROJECT 91-10
DISTRICT 22 TRUNK
SANITARY SEWER REPLACEMENT**

Scale: 1"=400'
Date: 2-24-92



Table 1

DISTRICT 22 SEWAGE FLOW PROJECTIONS AND CAPACITY

	<u>Incremental Flow</u>	<u>Cumulative Flow</u>			<u>Existing Capacity</u> gpd
	<u>Ultimate Average</u> <u>Flow, gpd</u>	<u>Theoretical</u> <u>Infiltration, gpd</u>	<u>Current</u> <u>Average Day</u> gpd	<u>Future</u> <u>Peak Hour</u> gpd	
<u>Tributary to Gervais Ct. (MH 22-107)</u>					
Commercial including Wards site 26 acres @ 1000 gpd/acre	26,000				
Cottages—West 108 units @275 gpd/unit	30,000				
Bright Keys Townhomes 120 units @275 gpd/unit	<u>33,000</u>				
Subtotal	89,000	300	5,000	356,000	491,000
<u>Tributary to MH22-104 behind Rainbow</u>					
Rainbow <u>3520 ccf</u> 748 gal/ccf 365 day/year	7,200				
MapleRidge Mall <u>5260 ccf</u> 748 gal/ccf 365 day/year	10,800				

(Table continued)

Note 1: Peak factor of four utilized. That is, peak hour = 4.0 x peak day + infiltration

Note 2: ccf = 100 cubic feet of water consumed per records

Note 3: REC is Residential Equivalent Connection

Table 1

DISTRICT 22 SEWAGE FLOW PROJECTIONS AND CAPACITY (Continued)

	<u>Incremental Flow</u>	<u>Cumulative Flow</u>			<u>Existing Capacity</u> <u>gpd</u>
		<u>Ultimate Average</u> <u>Flow, gpd</u>	<u>Theoretical</u> <u>Infiltration, gpd</u>	<u>Current</u> <u>Average Day</u> <u>gpd</u>	
Auto Mall <u>690 ccf</u> 365 day/year 748 gal/ccf	1,400				
SuperAmerica <u>2824 ccf</u> 365 day/year 748 gal/ccf	<u>5,800</u>				
Subtotal	24,000	700	30,000	453,000	518,000
<u>Tributary to Kohlman at VanDyke</u>					
14 REC @275 gpd/REC	4,000	1,100	34,000	469,000	425,000- 550,000
<u>Tributary to Southlawn at Vale (MH22-75)</u>					
Mesabi Project <u>5570 ccf</u> 365 day/year 748 gal/ccf	11,400				

(Table continued)

Note 1: Peak factor of four utilized. That is, peak hour = 4.0 x peak day + infiltration

Note 2: ccf = 100 cubic feet of water consumed per records

Note 3: REC is Residential Equivalent Connection

Table 1

DISTRICT 22 SEWAGE FLOW PROJECTIONS AND CAPACITY (Continued)

	<u>Incremental Flow</u>	<u>Cumulative Flow</u>			<u>Existing Capacity gpd</u>
	<u>Ultimate Average Flow, gpd</u>	<u>Theoretical Infiltration, gpd</u>	<u>Current Average Day gpd</u>	<u>Future Peak Hour gpd</u>	
Residential 36 REC @275 gpd	<u>10,000</u>				
Subtotal	21,400	1,800	57,000	555,000	770,000
<u>Tributary to Gem (MH22-69)</u>					
23 REC @275 gpd/REC	6,400	2,300	64,000	582,000	700,000

Note 1: Peak factor of four utilized. That is, peak hour = 4.0 x peak day + infiltration

Note 2: ccf = 100 cubic feet of water consumed per records

Note 3: REC is Residential Equivalent Connection

The existing pipe capacity is greater than the ultimate peak hour demand except for one short stretch. In this stretch the sewage would "head up" or surcharge the line during peak demand. However, the effect is so slight (approximately 0.5 foot) that it is compensated for in upstream sections which have excess capacity. The existing pipe would have adequate capacity if it had minimal infiltration.

It was very apparent that there was a significant amount of leakage into the pipe based upon the flow rates and conditions observed during weir testing during the middle of a weekday compared with the expected rates. The field notes of this daytime flow testing are given in Appendix A.

The issue of how much infiltration was present is important beyond its displacing capacity needed to convey actual sewage. The city's sewage flow is metered at connections to the MWCC sanitary sewer interceptors. The city is currently billed at the rate of \$1,156 per 1,000,000 gallons of flow. Significant infiltration rates can become very costly because they are ongoing around the clock, day after day.

To quantify how much infiltration is entering the pipe, several tests were made. Samples of the sewage were taken where raw sewage enters the main. Samples at the downstream end of the segment were taken later at about the travel time in the pipe. The samples were tested for the concentration in parts per million of chemical oxygen demand (COD). With no connections in the middle of the segment, the measured concentrations should be the same. That is, through a closed system, sewage in equals sewage out. However, if there is leakage of groundwater into the pipe along the pipe, its (presumably) zero concentration of COD will dilute the sewage and lower the tested concentration at the downstream end. Figure 4 illustrates these concepts and summarizes the test results. The actual laboratory reports are given in Appendix B.

The tests showed a significant drop in concentration and a relatively large rate of infiltration. Calculating infiltration by equaling the mass of pollutants entering and exiting each tested segment gives the infiltration rates summarized in Table 2.

Table 2

INFILTRATION BASED ON CHEMICAL OXYGEN DEMAND TESTING

<u>Segment</u>	<u>Calculated Infiltration, gpd</u>
Gervais to County Road C	35,000
Van Dyke/Kohlman to Southlawn	4,000
Southlawn to Gem	41,000
Gem to Kennard	87,000
TOTAL LEAKAGE	<u>166,000</u> gallons per day

Leakage of this order of magnitude is possible considering the type of pipe construction and the soil conditions. The pipe is a clay tile pipe built in the early 1960s. At this point in time there was no effective economic incentive to make joints watertight. The tolerances of the bell and spigot joints were not controlled carefully and O-rings were not used as is the case with current technology. Joints were "sealed" with organic materials such as oakum or bitumastic. These materials oxidize with time. They become stiff and brittle. They lose more of their limited sealing effectiveness. There are many more joints than on a modern pipe system because each pipe was 4 feet long instead of the 18 or 20 feet pipe lengths used currently.

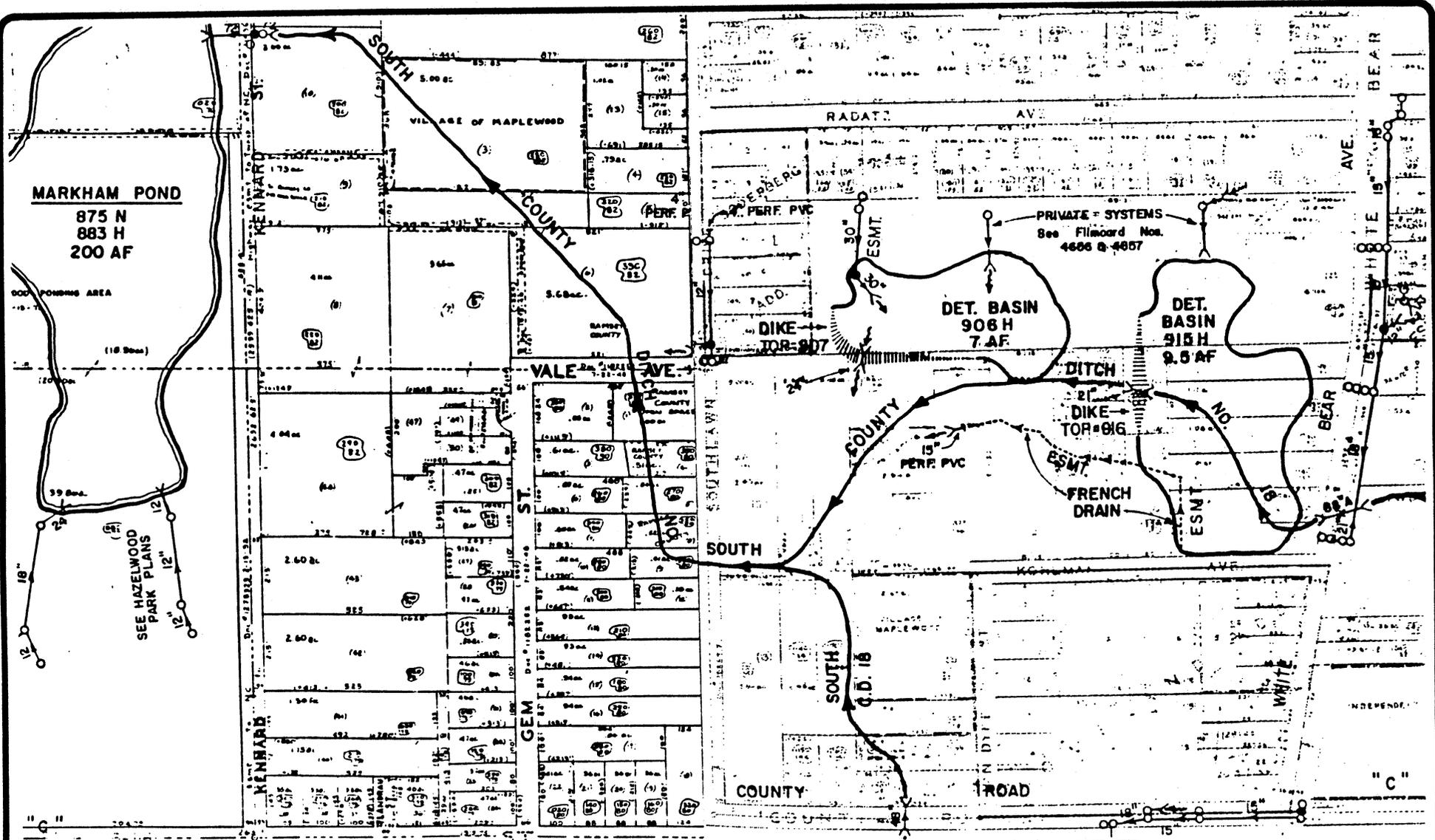
The pipe is buried in an environment in which an almost unlimited amount of groundwater is present to leak into each joint at an external pressure of about ten feet of water column. Soil borings were taken to evaluate the open cut replacement option. A copy of the soil exploration report is given in Appendix C. Generally, the existing pipe is laid in loose, coarse alluvium (i.e., sand and gravel) to a depth of about seven feet above the pipe. These soils, together with the high groundwater levels observed, would not restrict the supply of water to leaking joints.

Although it is very feasible that the pipe could leak this much, it was thought necessary to obtain additional corroborating data. Measurements of nighttime flow rates were attempted between 2 and 3 a.m. At this hour there should be minimal actual sewage in this line. Observed flows should be reflective of the amount of infiltration. The nighttime inspection notes are shown in Appendix D. Basically, the flow rates observed differed little from those observed during the day. There was so much flow that the standard V-notch weirs still could not be used. Depths of flow were taken at several downstream manholes. Although this method of flow measurement has limited accuracy, the flow rates based on depth and pipe size and slope were calculated. The flow rates that were calculated ranged from 130,000 to 165,000 gpd. These rates agree well with the calculated leakage based on the chemical analysis.

It is reasonable to conclude that the infiltration is about 130,000 gpd. At \$1,156.00 per 1,000,000 per gpd, this equals \$150.00 per day or \$55,000.00 per year.

There is also a serious deficiency in the accessibility of the existing sewer for maintenance. The existing sewer crosses back and forth across County Ditch 18 through open space. The route of County Ditch 18 in relation to the sanitary sewer is shown in Figures 5 and 6. The manholes in these areas cannot be reasonably accessed by vehicle for maintenance under most conditions. This means that the line has not been cleaned or televised. This increases the risk of a backup. In fact, when the samples were taken for COD testing, it was found that the sewer behind Rainbow was surcharged by several feet. A large rock was in the downstream section. There have been instances where isolated manholes have been vandalized by dumping large debris down the manhole to attempt to block the flow.

If an obstruction does occur, there is a large concern about the delay in time to locate and correct it should it occur in these unaccessible areas. The delay in time would make the damages from a backup more severe.

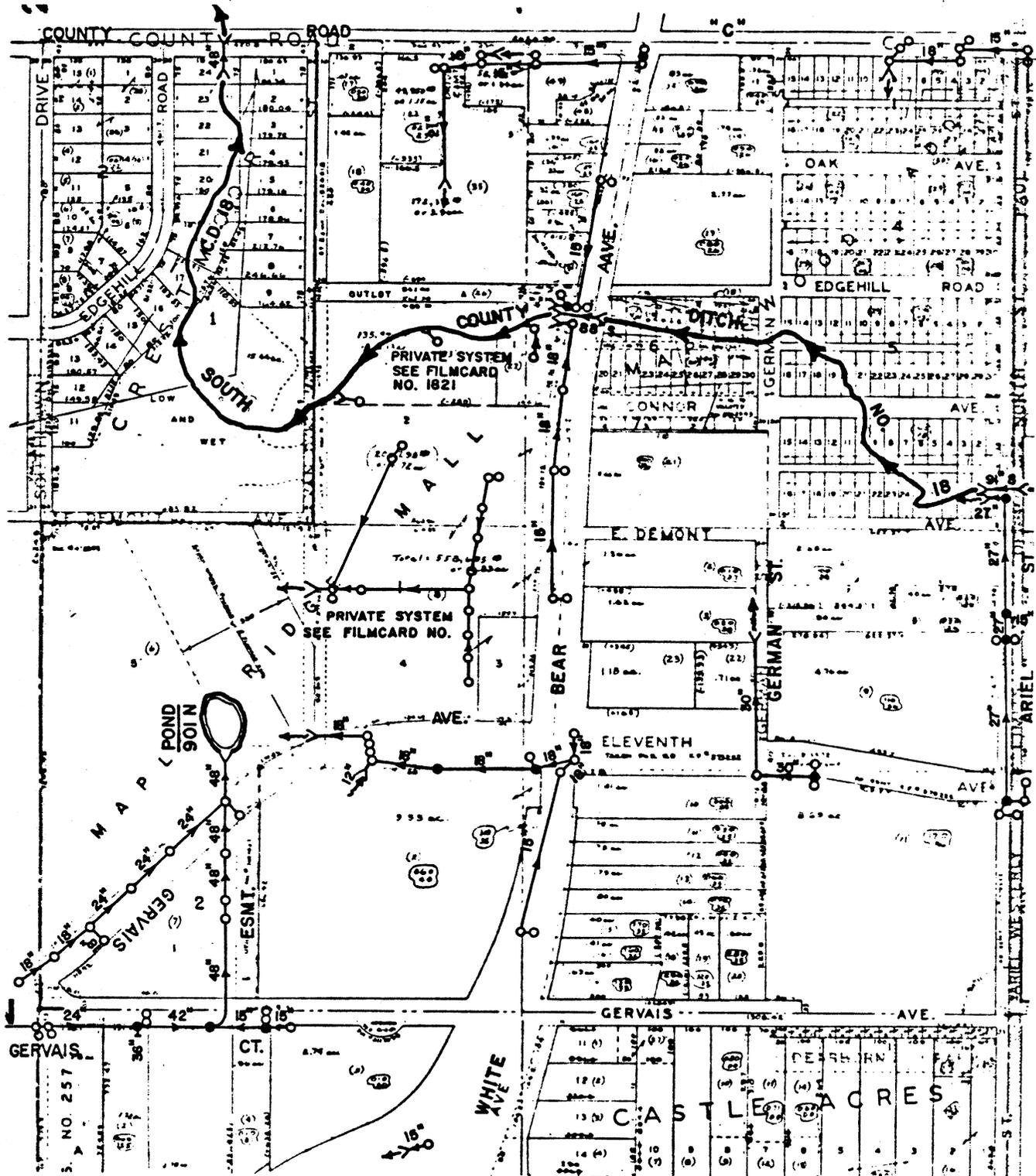


EXISTING STORM SEWER

PROJECT 91-10
DISTRICT 22 TRUNK SANITARY SEWER REPLACEMENT

Scale: 1"=400'
 Date: 2-24-92





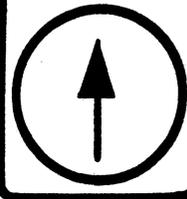
EXISTING STORM SEWER

**PROJECT 91-10
DISTRICT 22 TRUNK
SANITARY SEWER REPLACEMENT**

Scale: 1" = 400'

Date: 2-24-92

FIGURE SIX



Alternatives Evaluation

There are two alternatives to correct the severe infiltration problem and improve the maintenance of the system. The two alternatives are open-cut replacement and sliplining. The open-cut sanitary sewer replacement is shown in Figures 7 and 8. The replacement of part of the segment south of County Road C is included because of its severe infiltration potential.

Due to the soils conditions, the typical trench section would need to look like that shown in Figure 9. The combination of sand soils overlaid with peat, together with very high groundwater, will make access for equipment difficult. It would necessitate an extremely wide trench, unless a box is used. Even with the use of a box as shown in Figure 9, the width of disturbed area is about 100 feet. There is a significant extra cost for dewatering and use of a box.

The access problem would be dealt with by building a 10 foot wide trail on top of the sewer trench as its built by removal of the peat down to the inplace sand and replacement with borrow sand. This would provide for permanent maintenance access. The maintenance access could also provide recreational trail use. This concept would result in a recreational trail from Van Dyke at Kohlman to Hazelwood Park near the new regional county library. The continuity of the trail for recreational purposes is maintained by the inclusion of a berm with culverts or a pedestrian bridge across County Ditch 18 on the Vale Street right of way between Southlawn and Gem. A detail as to what this bridge crossing would look like is shown in Figure 10. The creation of a pedestrian trail between Southlawn and Markham Pond is shown in the city's comprehensive plan.

The costs of the trail from Markham Pond to Van Dyke at Kohlman, together with the trail along the sewer alignment on the Van Dyke right of way south of County Road C to the County Ditch 18 crossing, is included in the cost estimate. In the future the trail could be extended to the southwest when the watershed district builds a berm and control structure across County Ditch 18 to develop more storage volume. The trail could possibly connect to a sidewalk or trail to be built by the developer of the proposed townhomes immediately west of Rainbow. This would provide a trail link all the way from the regional library and park at Beam and Kennard to Gervais. The sidewalk on Gervais, to be built as part of Cottages of Maplewood-West, would provide a link to Rainbow and Four Seasons Park.

A detailed construction cost estimate for the open cut alternative is given in Appendix E. The project costs are summarized as follows.

OPEN CUT ALTERNATIVE

Estimated Construction Cost	\$399,800.00
Indirect Costs	<u>\$120,000.00</u>
TOTAL PROJECT COST	\$520,000.00

The second alternative evaluated is sliplining the existing sewer with Insituform. This process is cost competitive with open cutting where there are groundwater and soils problems.

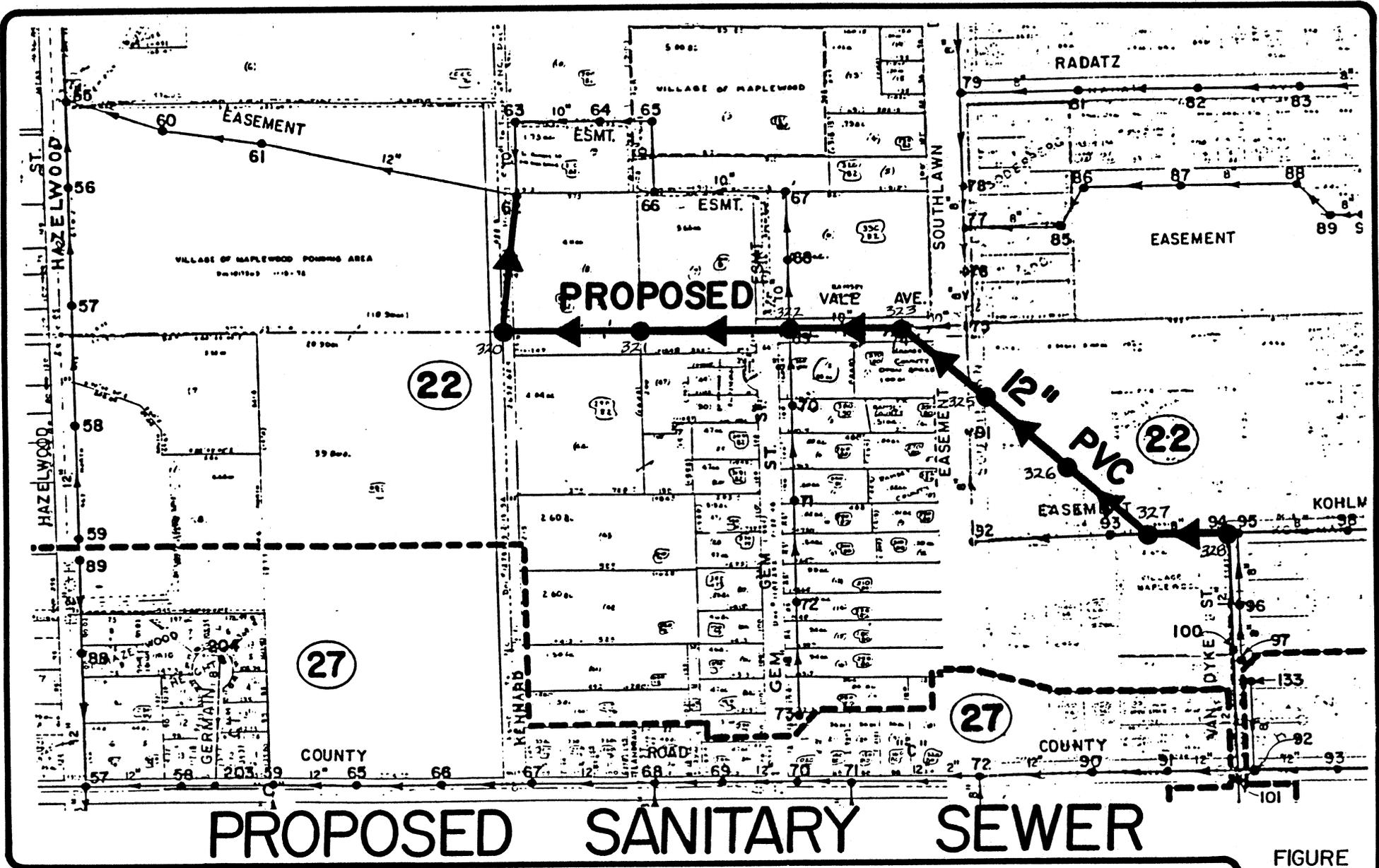
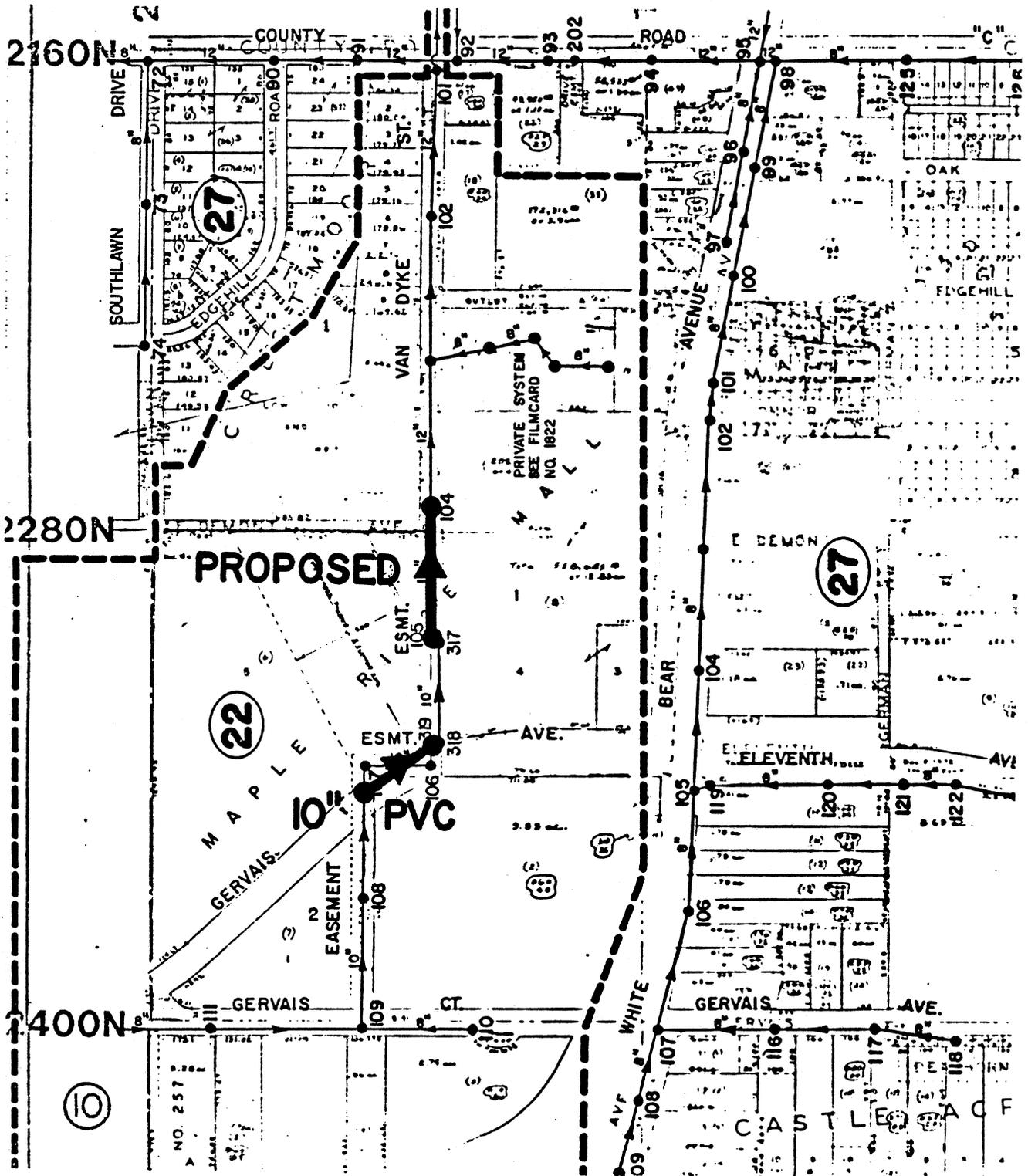


FIGURE SEVEN

PROJECT 91-10
DISTRICT 22 TRUNK SANITARY SEWER REPLACEMENT

Scale: 1"=400'
 Date: 2-24-92



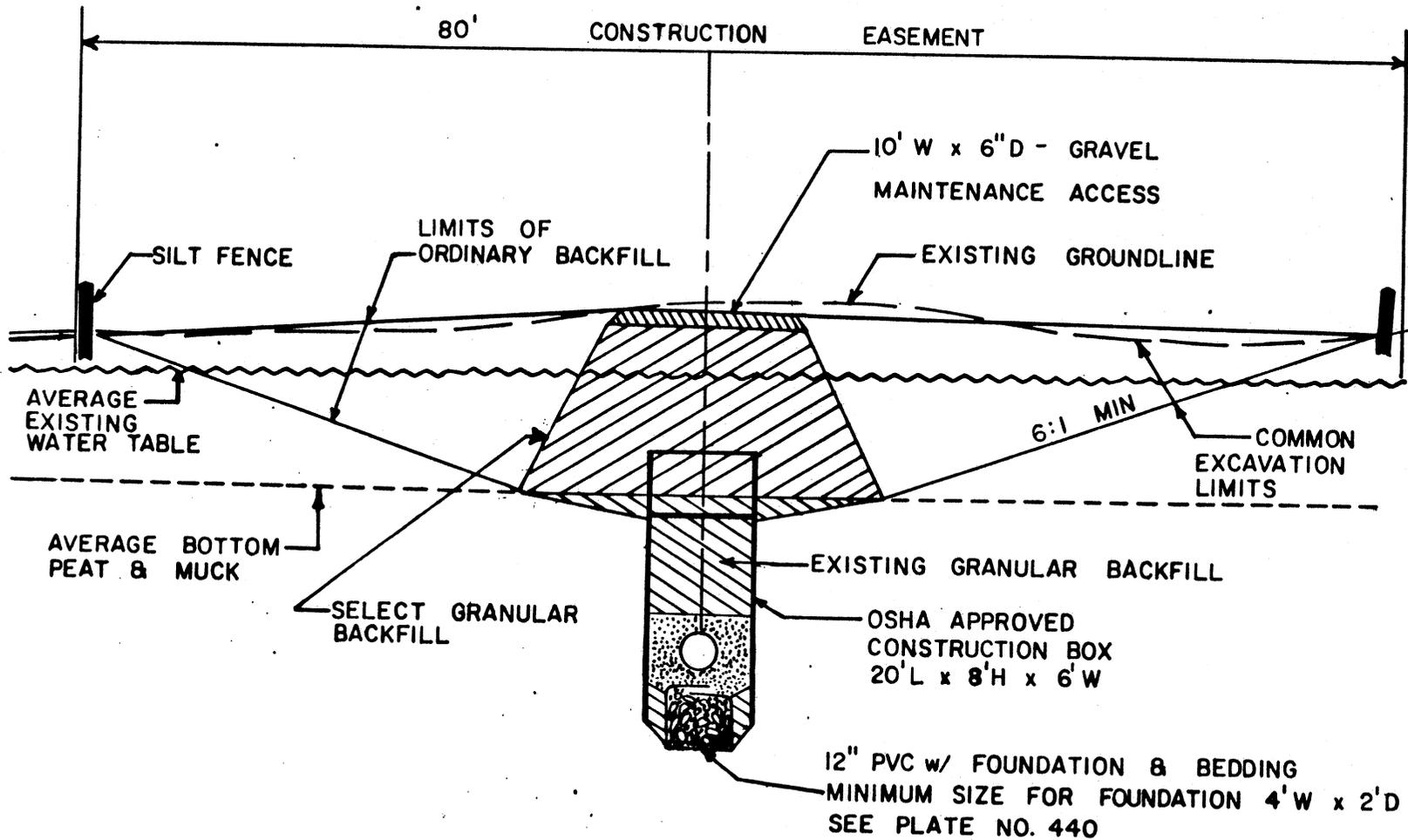


PROPOSED SANITARY SEWER

**PROJECT 91-10
DISTRICT 22 TRUNK
SANITARY SEWER REPLACEMENT**

Scale: 1"=400'
Date: 2-24-92





TYPICAL SECTION

FIGURE NINE

PROJECT 91-10 DISTRICT 22
 TRUNK SANITARY SEWER REPLACEMENT

Scale : H: 1"=10'
 V: 1"=5'
 Date: 2-24-92



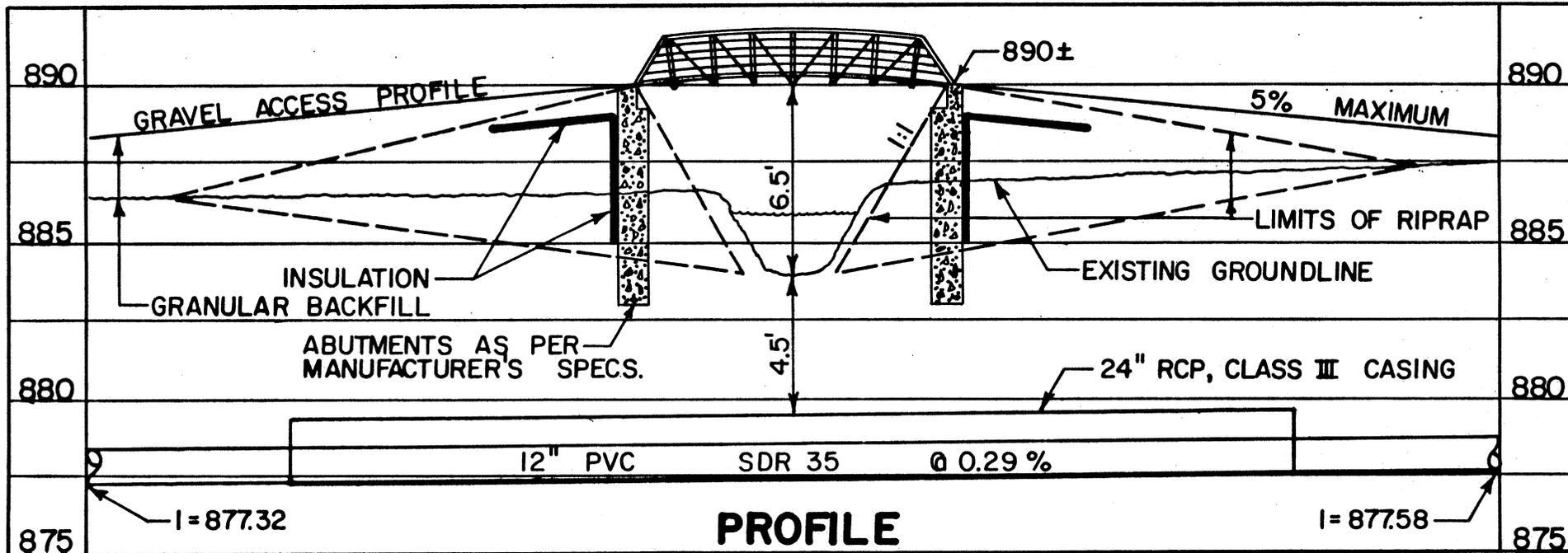
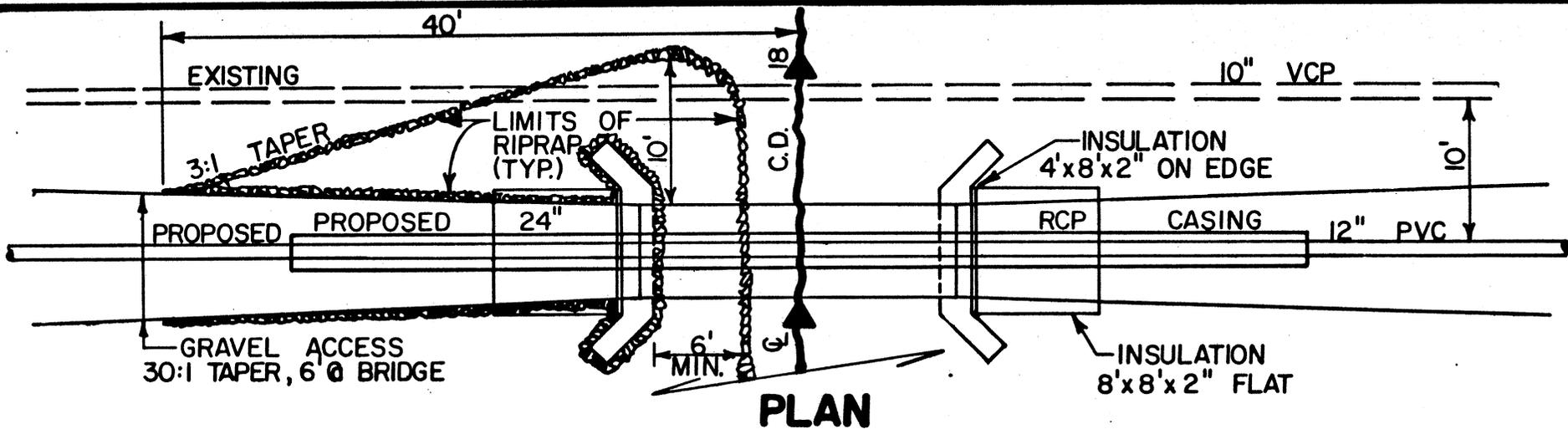
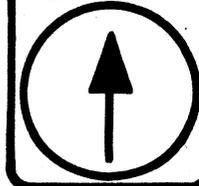


FIGURE TEN

PROJECT 91-10
DISTRICT 22 TRUNK SANITARY SEWER REPLACEMENT
VALE AVE./CO. DITCH 18-ALTERNATE BRIDGE CROSSING

Scale:
 1" = 10' (H)
 1" = 5' (V)
 Date: 2-24-92



Manufacturers literature for the Insituform process is given in Appendix F. This alternative would address the infiltration problem. It would also leave adequate hydraulic capacity. It would not include a maintenance access/ recreational trail. It would somewhat improve the maintenance concerns in that the pipe interior would be continuously smooth as opposed to joints where material is more prone to hang up at every four feet. The slipliner would be pulled through unaccessible manholes in the open space area. This would protect the sewer main from debris dumped in the manholes by vandals. As further protection, the manhole covers would be screwed to the frames.

A detailed cost estimate for the slipline alternative is given in Appendix G. Without any recreational trail, the costs of this alternative are summarized as follows.

SLIPLINE ALTERNATIVE—NO TRAIL

Estimated construction cost	\$292,200.00
Indirect costs	<u>\$ 72,800.00</u>
TOTAL PROJECT COST	\$366,000.00

It would also be possible to build a strictly recreational trail as described previously. It would have limited benefit from the perspective of enhancing the maintenance of the sewer due to the differing route of the existing sanitary sewer. A summary of the project costs of the slipline alternative with a recreational trail is given as follows.

SLIPLINE ALTERNATIVE—WITH RECREATIONAL TRAIL

Estimated construction cost	\$330,400.00
Indirect costs	<u>\$ 98,600.00</u>
TOTAL PROJECT COST	\$429,000.00

Recommended Improvement

The slipline alternative will correct the infiltration/capacity concerns as would the open-cut alternative. The slipline alternative does not provide the same degree of enhancement to the maintainability of the sewer. However, it is between \$150,000 to \$90,000 less expensive than the open cut.

The slipline alternative would also produce much less environmental damage to the wetland/open space. The slipline process has less risk than the open-cut process of extra cost due to adverse weather.

Therefore, it is recommended that the slipline alternative be constructed. The council should determine if it is desirable to build a recreational trail in roughly the same corridor as part of this project. At the current rate of cost due to infiltration, the project cost would be paid back in wastewater treatment charge savings in about eight years.

Since the slipline process is proprietary and has a high mobilization charge with significant economies of scale, the city should consider adding other sewer sections that may require

slipline renovation to the contract. The section of sanitary sewer on Larpenteur between Ruth and White Bear is cracked in many locations. For now, the pieces interlock and the pipe is stable. With time, vibrations, sewer cleaning, or frost pressure may cause cracked section to break free. This would quickly result in the obstruction and collapse of the line.

Sliplining at this time would permanently stabilize the pipe. The costs of waiting until the line collapses would probably be higher, since this section of Larpenteur is improved. The extent on Larpenteur that should be sliplined has not accurately been defined yet. It is difficult to estimate the additional cost of including this segment with the proposed contract. The additional cost could be up to about \$100,000. It would be intended to bid it as an alternate item and evaluate its cost effectiveness at that point.

Project Cost and Financing

The sliplining of the District 22 sanitary sewer at a cost of \$366,000 is to be paid from the sewer fund with reimbursement from the tax increment funds from the Cottages of Maplewood—West project. The sliplining of the Larpenteur Avenue sanitary sewer would be funded from the sanitary sewer fund. The cost of an auxiliary pedestrian trail along the District 22 sanitary corridor of \$63,000 would be funded by other city funds if included with the project.

APPENDIX A
DAYTIME SEWER FLOW TESTS

PROJECT 91-10
SEWER FLOW TESTS

<u>Date</u>	<u>Time</u>	<u>MH</u>	<u>Flow</u>	<u>Size/Type</u>	<u>Reading/Comments</u>
1-30-92	2:47 p.m.	109	Out	10" VCP	Weir = 5,910
1-30-92	2:56 p.m.	317	In	10" VCP	Weir = 9,300
1-31-92	1:30 p.m.	317	Out	10" VCP	Weir = 2,900
1-31-92	1:40 p.m.	101	In	9" PVC	Depth = .49; Weir did not fit
1-31-92	1:40 p.m.	101	Out	12" Truss	Depth = .63 Weir did not fit
1-31-92	2:05 p.m.	94	Out	8" VCP	Depth = .35 High velocity, flows over top of Weir
1-31-92	2:14 p.m.	75	In (S)	8" VCP	Depth = .43 High velocity, flows over top of Weir
1-31-92	2:30 p.m.	75	Out (W)	10" VCP	Depth = .49 High velocity, flows over top of Weir
1-31-92	2:33 p.m.	69	In (E)	10" VCP	Weir = 13,630
1-31-92	2:45 p.m.	69	Out (N)	10" VCP	Weir = 31,000 Flow at top of Weir
1-31-92	2:54 p.m.	63	In (E)	10" VCP	Depth = .33 High velocity, flows over top of Weir
1-31-92	2:55 p.m.	63	Out (S)	10" DIP	Depth = .21 High velocity, flows over top of Weir
1-31-92	3:05 p.m.	55	In (E)	12" DIP	Depth = .30 Could not lock 12" Weir into position

APPENDIX B
CHEMICAL ANALYSIS



TWIN CITY TESTING CORPORATION

662 CROMWELL AVENUE
ST. PAUL, MN 55114
PHONE 612/645-3601

TO: Mr. Bruce A. Irish, P.E., A.C.E.
City of Maplewood
1830 East County Road B
Maplewood, MN 55109

DATE: January 22, 1992

PROJECT NO: 4231 92-0530

CHEMICAL ANALYSIS

INTRODUCTION:

This report presents the results of ten water samples submitted to Twin City Testing by Mr. William Priebe of the City of Maplewood Engineering Department on January 15 and January 17, 1992. The samples were analyzed for Chemical Oxygen Demand (COD) as requested by Mr. Priebe. The scope of our services was limited to this request.

METHODS:

Methods for Chemical Analysis of Water and Wastes, EPA-600/4-79-020, March, 1983; Method 410.4.

RESULTS:

<u>Sample Identification</u>		<u>COD(mg/L)</u>	<u>Date Sampled/ Date Analyzed</u>
MH 63 Inflow East;	TCT# 274480	110	1-15/16-92
MH 69 Outflow North;	TCT# 274481	180	" "
MH 69 Inflow East;	TCT# 274482	150	" "
MH 75 Outflow West;	TCT# 274483	340	" "
MH 75 Inflow South;	TCT# 274484	170	" "
MH 94 Outflow West;	TCT# 274485	180	" "
MH 22-109 Outflow South;	TCT# 274737	70	1-17/22-92
MH 22-105A Inflow South;	TCT# 274738	120	" "
MH 22-105 Outflow North;	TCT# 274739	390	" "
MH 22-101 Inflow South;	TCT# 274740	180	" "

REMARKS:

If you have any questions or need any further assistance, please call us at 659-7589.

Sincerely,

TWIN CITY TESTING CORPORATION

Walter M. Koenst, M.S.
Water Quality & Biological
Services Supervisor

Proofread by:

Corine Goodrich
EIH Laboratory
Supervisor



737 PELHAM AVENUE
DOCK 4
ST. PAUL, MN 55114
PHONE 612/659-7555

CHAIN-OF-CUSTODY RECORD

TCT NO. 34850

CITY OF MAPLEWOOD
CLIENT NAME
1830 EAST COUNTY ROAD B
CLIENT ADDRESS (STREET NUMBER, SUITE, ETC.)
MAPLEWOOD, MN. 55109
CLIENT ADDRESS (CITY, STATE, ZIP)
BRUCE A. IRISH, P.E., A.C.E. 770-4554
CLIENT CONTACT/ADDRESS IF DIFFERENT FROM ABOVE PHONE

BRUCE A. IRISH *Bruce A. Irish*
SAMPLED BY PRINT NAME/SIGNATURE

POSSIBLE HAZARD: YES _____ UNKNOWN (COMMENT BELOW)

SAMPLE DISPOSAL: RETURN TO CLIENT _____ DISPOSAL BY LAB
(ADDITIONAL CHARGES MAY BE ASSESSED)

WALLY KOENST
TCT CONTACT
DISTRICT 22 - TRUNK SAN. SEW. REPLACE.
PROJECT NAME
PROJECT 91-10
CLIENT P.O. # / PROJECT NO.
SAME
BILL TO (CO. NAME, ADDRESS)
BRUCE A. IRISH, P.E., A.C.E.
REPORT TO

ANALYSES REQUEST	FILTERED (YES/NO)	PRESERVED (CODE)	REFRIGERATED (Y/N)	COB																	
CODE A - NONE																					
B - HNO3																					
C - H ₂ SO ₄																					
D - NaOH																					
E - HCl																					
F - _____																					

TCT USE ONLY

PROJ. MGR. *Wally*

PRIORITY *RUSH*

INVOICE # *4231-92-0530*

JOB NAME *AH-City M.I.*

CUSTODY SEAL INTACT/NUMBER Y/N *NA*

TEMPERATURE OF CONTAINER *14.2*

SAMPLE CONDITION *OK*

PREPAY Y/N *NO*

CHECK NO. _____

CHECK AMOUNT _____

ITEM NO.	CLIENT SAMPLE ID.	MATRIX	DATE SAMPLED	TIME SAMPLED								NO. OF CONTAINERS	CONTAINER TYPE	TCT NO.
1	MH 63 Inflow East	Water	1-15-92	1:28 PM	X							1	COB bottk.	274480
2	MH 69 Outflow North	"	"	1:08 PM	X							1	"	274481
3	MH 69 Inflow East	"	"	1:08 PM	X							1	"	274482
4	MH 75 Outflow West	"	"	1:05 PM	X							1	"	274483
5	MH 75 Inflow South	"	"	1:05 PM	X							1	"	274484
6	MH 94 Outflow West	"	"	12:37 PM	X							1	"	274485
7	MH 101 Inflow South		"											
8	MH 105 Outflow North		"											
9	MH 105A Inflow South		"											
10	MH 109 Outflow North		"											

Additional Comments	RELINQUISHED BY / AFFILIATION	DATE	TIME	ACCEPTED BY / AFFILIATION	DATE	TIME
<i>Wally already has samples 1/15/92 (2)</i> <i># 4410 02-0821</i>	<i>William Swibe</i>	<i>1-15-92</i>	<i>3:20p</i>	<i>Wally Koenst</i> <i>John J. Kelso</i>	<i>1/15/92</i>	<i>3:20p</i> <i>3:40p</i>

APPENDIX C
SOIL EXPLORATION REPORT

SUBSURFACE EXPLORATION PROGRAM
DISTRICT 22 TRUNK SANITARY SEWER REPLACEMENT
CITY PROJECT 9-10
MAPLEWOOD, MINNESOTA
TCT #4220 92-1234

1.0 INTRODUCTION

1.1 Project Information

We understand you are proposing to construct a new sanitary sewer extending to the northeast from the intersection of Kohlman and Van Dyke and terminating on Kanard Street approximately 400' north of the Vale Avenue right of way. The proposed sewer will have invert depths varying from approximately 10' in the southeast end of the project to approximately 20' near the northwest corner. A subsurface exploration program consisting of nineteen soil borings was completed along the proposed alignment in order to evaluate subsurface soil and groundwater conditions. Borings #18 and #19 were completed along a proposed alternate alignment for a segment of the sewer.

1.2 Scope of Services

Our authorized work scope for this project was in accordance with a boring layout plan provided by you. The borings extended approximately 5' below the proposed invert elevations at each

of the boring locations. In addition to completing the borings, our scope of work also involved providing a limited laboratory test program to assist in classification of the soils, and evaluate pertinent soil properties. The results of the exploration program are provided in this report.

2.0 EXPLORATION PROGRAM RESULTS

2.1 Scope of Exploration

The soil borings were completed between January 9 and 16th, 1992, using a drill rig mounted on an all-terrain vehicle. The soil boring locations were staked and surface elevations provided by the City of Maplewood. The approximate boring locations are indicated on the attached sketch.

2.2 Surface Observations

The proposed alignment consist primarily of open park land. Lower lying swamp areas were encountered in many of the boring locations.

2.3 Subsurface Conditions

The subsurface conditions encountered at each test location are shown on the boring logs included in the Appendix of this report. We wish to point out that subsurface conditions at other times and locations on the site may differ from those found at our test locations. If different conditions are encountered during construction, it is necessary you contact us so our recommendations can be reviewed. The test boring logs also indicate the possible geologic origin of the materials encountered.

A review of the boring logs suggest a general soil profile consisting of mostly alluvial sands with varying amounts of silt and gravel, and lesser amounts of silty and clayey sand till. Intermittent layers of fine alluvial silts and clays were also encountered. Surficial swamp deposits were encountered in ten of the boring locations varying in depth between 2' and 12'. Based on the N values, the soils are typically in a soft or loose condition with the exception of the till soils which are typically in a medium dense condition.

2.4 Water Level Observations

Shallow water levels were encountered in each of the boring locations. The measured water level is noted on each of the respective boring logs. Because of the relatively permeable nature of the alluvial sands encountered in most of the borings, we judge the measured water level to be indicative of the actual water level at the time and location of the boring. The water level should be expected to fluctuate with variations in precipitation amounts and with time.

3.0 ENGINEERING REVIEW

3.1 Project Data

The engineering recommendations made in this report are based on our understanding of the project as described in the following paragraphs. The recommendations are valid for a specific set of project conditions. If the characteristics of the project change from those indicated in this section, it is necessary that we be notified so we may determine whether the new conditions affect our recommendations.

We understand the proposed construction will consist of a 12" diameter trunk sanitary sewer to replace the existing District 22 sewer line. The proposed construction is primarily through open land and will not require restoration for future roadways or structures. Provisions for a path are required however in order to provide serviceability of the sewer lines and for recreational purposes. A culvert or pedestrian bridge is also proposed for the creek crossing.

3.2 Discussion

Relatively high groundwater was encountered in each of the boring locations. Because of the relatively permeable nature of the alluvial sands, dewatering will be required along the alignment. A sieve analysis on representative soil samples are attached to assist in determining the most suitable method of groundwater dewatering.

The majority of the soil layers are in a loose or soft condition. As a result, a shortage of material may result during backfilling of the utility trenches. It should be noted that subsidence of the ground adjacent to dewatering pumps may occur. As a result, existing utilities, structures and other features may subside due to the dewatering program.

3.3 Trench Excavation

As was previously noted, dewatering will be required for the utility trenches. Dewatering should be extended to at least 2' below the proposed invert elevation in order to provide stability at the bottom of the utility trench. Significant infiltration can be expected in soil layers and seams designated as "SP" and "SP-SM" soils. Significant seepage and slope erosion may occur in the silty sands (SM). The soil may also be difficult to dewater. The clayey soils are typically relatively impermeable. As a result, sump pumps may be suitable for dewatering. We caution that the contractor should carefully evaluate dewatering requirements.

Excavation of the utility trench should be completed in accordance with current O.S.H.A. requirements. Because of the granular nature of the majority of the soils, trench excavation should meet the requirements of a Type C soil. The sapric peat encountered in borings 12 through 14 and boring 9 may require significantly flatter slopes in order to remain stable during construction. Typically, slopes of 6 to 1 and up to 12 to 1 or flatter may be required for stability.

3.4 Bedding

Where the proposed invert will lie within relatively clean alluvial sands, we judge that no special bedding will be required assuming the soils are properly dewatered. Where the invert lies within the silty sand and clayey sand till soils, adequate dewatering may be difficult. In these areas, rock bedding may be required and a separation fabric meeting the requirements of MN/DOT Specs Article 3733, type V fabric. The rock bedding should consist of 1-1/2" clear material. The rock should be a minimum of 12" thick below the invert and should extend laterally at least 12" beyond the edge of the pipe. Additional rock depth may be required in the soil if disturbed below the invert. A smooth bucked backhoe should be used to limit disturbance.

In areas where relatively permeable alluvial sands underlie less permeable till soils, "Boiling Up" of the soil may occur as the overburden soil is removed. If this occurs, it is necessary to extend dewatering down to the underlying alluvial soils in order to reduce the hydrostatic pressure.

The granular bedding or rock bedding should extend up to at least the spring line of the proposed utility. The excavated materials may then be used for backfill. It should be noted that the relatively clean granular soil placed along and under the invert of the pipe may serve as a conduit for groundwater movement. In order to minimize this flow, intermittent dams consisting of less permeable clay soils should be placed around the pipe at approximately 100' intervals to inhibit this flow.

3.5 Backfill

Since the alignment will not be used for future roadways or other construction, thorough compaction of the backfill will not be required. We understand it is desired to use street sweepings as part of the backfill. Because of the significant amount of fines typically encountered in street sweepings, placement of this material would be difficult if the trench is not properly dewatered. This replacement material would, however, be more suitable than the organic swamp deposits. Because of minimal compaction, some post construction subsidence of the utility trench may be expected. As a result, mounding over the top of the pipe should be provided in anticipation of the settlement. The actual amount of settlement will vary depending on the amount of organic soils and wet clays placed in the utility trench. Settlements of up to 1' to 2' may be expected in some of the deeper boring locations where significant amount of organic deposits were encountered. Since accessibility along the alignment is required for servicing the sewer, we recommend that the upper 3' of backfill in the trench consists of the relatively clean alluvial sands.

3.6 Bridge Foundation Culvert Placement

We understand that a bridge or possible dual culvert structure is proposed for the creek. For either option, a minimum excavation depth of 13' would be required at the location of the boring. Dewatering of the excavation would be required. Fill required to reattain footing of

culvert grade should consist of a relatively clean sand (less than 5% fines) compacted to at least 95% of the Standard Proctor density (ASTM:D698). Footing placed on the fill of underlying silty sand is competent for an allowable bearing capacity of 2000 psf. The silty sands and cohesive soils are highly moisture sensitive. As a result, caution will be required not to disturb these soils. Additional subcutting may be required if they are disturbed.

4.0 CONSTRUCTION CONSIDERATIONS

Construction on the site will be difficult due to the swamp deposits encountered in ten of the boring locations, and the relatively high groundwater level. Prior to construction of the utility, it may be desirable to remove the swamp deposits to a considerable width on both sides of the proposed utility alignment. During excavation, the alluvial sands should be stockpiled for use as bedding and also as backfill in the upper 3' in order to provide a service road for the finished utility.

Because of high groundwater and relatively permeable nature of the granular soil layers, dewatering will be required for successful completion of the utility installation. A significant amount of additional bedding would be required if proper dewatering is not accomplished.

5.0 FIELD EXPLORATION PROCEDURES

5.1 Soil Sampling

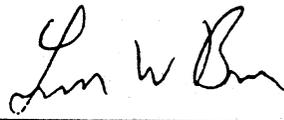
Soil sampling was performed in accordance with ASTM:D1586-84. Using this procedure, a 2" O.D. split barrel sampler is driven into the soil by a 140 lb weight falling 30". After an initial set of 6", the number of blows required to drive the sampler an additional 12" is known as the penetration resistance or N value. The N value is an index of the relative density of cohesionless soils and the consistency of cohesive soils.

5.2 Soil Classification

As the samples were obtained in the field, they were visually and manually classified by the crew chief in accordance with ASTM:D2487-85 and D2488. Representative portions of the samples were then returned to the laboratory for further examination and for verification of the field classification. In addition, selected samples were submitted to a program of laboratory tests. Logs of the borings indicating the depth and identification of the various strata, the N value, the laboratory test data, water level information and pertinent information regarding the method of maintaining and advancing the drill holes are attached. Charts illustrating the soil classification procedure, the descriptive terminology and symbols used on the boring logs are also attached.

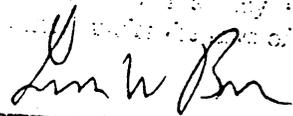
6.0 STANDARD OF CARE

The recommendations contained in this report represent our professional opinions. These opinions were arrived at in accordance with currently accepted engineering practices at this time and location. Other than this, no warranty is implied or intended.

This report was prepared by: 
Loren W. Braun, P.E.

This report was reviewed by: 
Ronald A. Shaffer, P.E.

Professional Engineer License
No. 14969
Issued 12/15/88
Expires 12/15/91
State of Minnesota


Loren W. Braun
Date 2/4/91 Reg. No. 14969

APPENDIX D

EARLY MORNING SEWER
INSPECTION NOTES

PROJECT 91-10
SANITARY SEWER INSPECTION
FEBRUARY 7, 1992, 2 A.M.

MH 22-63 @ Kennard, south of Beam

Flow too great to obtain weir reading
Depth of flow $2\frac{3}{4}$ " in 10" VCP
Water appears very clear

MH 22-75 @ Southlawn and Vale

Flow overtopped weir
Depth of flow $3\frac{1}{8}$ " in upstream 8" VCP and $3\frac{1}{4}$ " in downstream 10" VCP
Water appears very clear

MH 22-94 @ VanDyke and Kohlman

Large flow—apparent that weir would not work
Water appears clear except for temporary discharge of sudsy sewage

MH 22-317 and 22-105—Upstream and downstream of Rainbow connection

Relatively minimal flow
Slow moving
Sludge on bottom of line

APPENDIX E

OPEN CUT CONSTRUCTION
COST ESTIMATE

DISTRICT 22 SANITARY SEWER REPLACEMENT
PROJECT 91-10

ITEM	Mn/DOT	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL
		OPEN CUT OPTION				
		DIVISION I - REMOVALS AND RESTORATION				
1-1	2021.501	Mobilization and traffic control (5%)	LS	1.00	\$20,000.00	\$20,000.00
1-2	2101.501	Clearing	AC	3.35	\$1,500.00	\$5,025.00
1-3	2101.506	Grubbing	AC	3.35	\$1,500.00	\$5,025.00
1-4	2104.505	Bituminous removal	SY	1300.00	\$3.00	\$3,900.00
1-5	2104.513	Sawing bituminous pavement	LF	250.00	\$2.00	\$500.00
1-6	2104.523	Salvage casting	EA	21.00	\$50.00	\$1,050.00
1-7	2104.525	Abandon manhole	EA	14.00	\$200.00	\$2,800.00
1-8	2105.501	Common excavation	CY	19000.00	\$2.00	\$38,000.00
1-9	2105.522	Select granular borrow, CV	CY	9500.00	\$8.00	\$76,000.00
1-10	0105.606	Common channel excavation	LF	200.00	\$5.00	\$1,000.00
1-11	2211.501	Aggregate base, Class 5, 100% crushed	T	2500.00	\$7.00	\$17,500.00
1-12	2331.508	Type 41B - wearing course mixture	T	200.00	\$25.00	\$5,000.00
1-13	2331.518	Type 41A - wearing course mixture	T	15.00	\$30.00	\$450.00
1-14	2506.516	Furnish casting	EA	8.00	\$100.00	\$800.00
1-15	2506.521	Install casting	EA	8.00	\$150.00	\$1,200.00
1-16	0554.602	Guard post installation, Maplewood Plate 605	EA	5.00	\$800.00	\$4,000.00
1-17	2573.501	Bale check, Maplewood Plate 350	EA	60.00	\$4.00	\$240.00
1-18	2573.503	Silt fence, preassembled, Maplewood Plate 350	LF	10000.00	\$1.00	\$10,000.00
1-19	2573.605	Mechanical street sweeping	HR	20.00	\$75.00	\$1,500.00
1-20	2575.505	Sodding, Type A	SY	4500.00	\$1.50	\$6,750.00
1-21	2575.605	Turf establishment	AC	6.00	\$800.00	\$4,800.00
		Subtotal - Division I				\$205,540.00
		DIVISION II - STORM SEWER				
2-1	2451.603	Storm sewer pipe foundation	LF	285.00	\$7.00	\$1,995.00
2-2	2451.603	Storm sewer pipe bedding, Maplewood Plate 340	LF	285.00	\$9.00	\$2,565.00

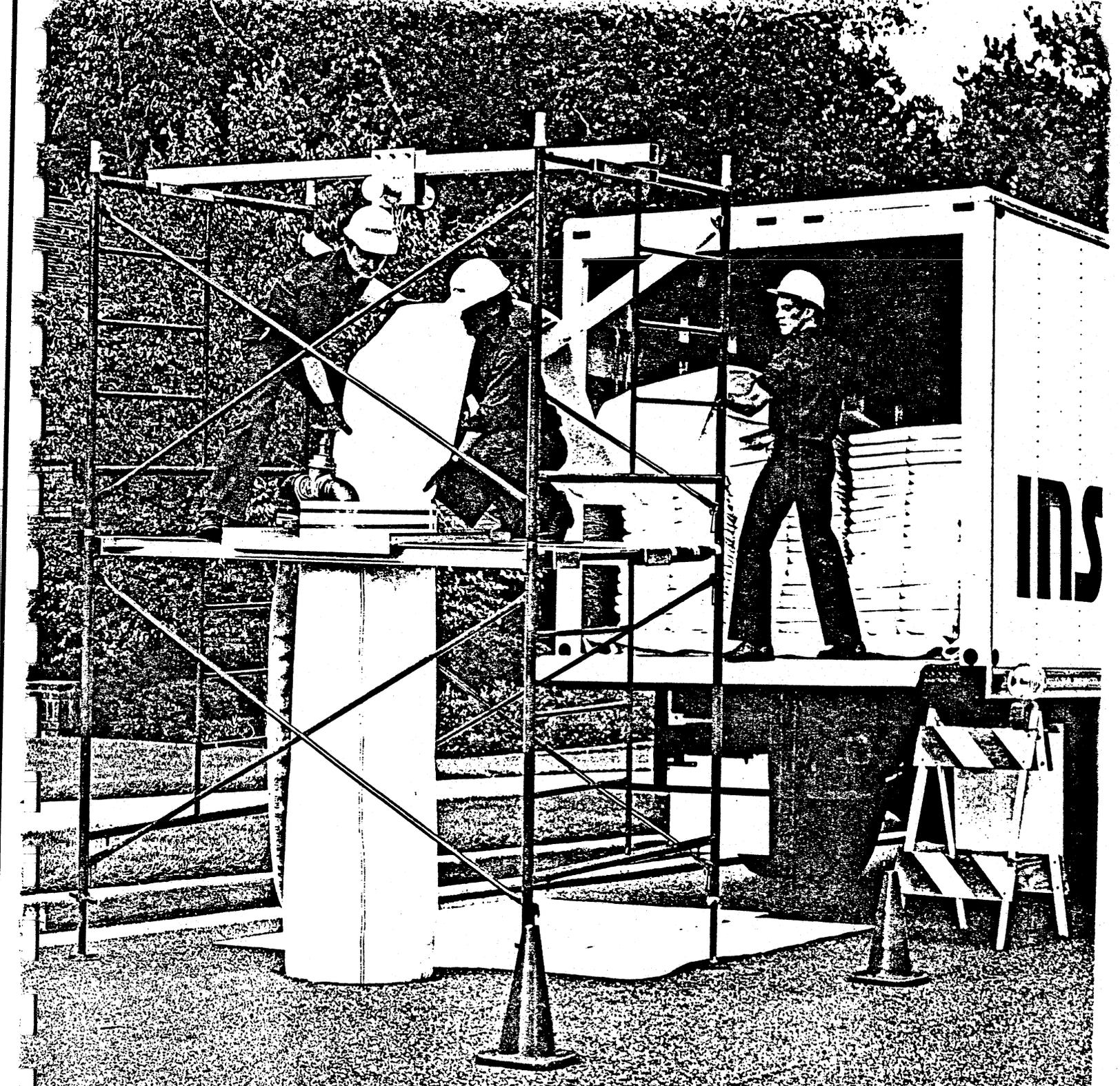
DISTRICT 22 SANITARY SEWER REPLACEMENT
PROJECT 91-10

ITEM	Mn/DOT	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL
2-3	2501.511	24" CS pipe culvert	LF	60.00	\$15.00	\$900.00
2-4	2501.515	24" CS pipe apron	EA	6.00	\$150.00	\$900.00
2-5	2501.515	18" RC pipe apron with trash guard	EA	1.00	\$150.00	\$150.00
2-6	2501.521	59' span RC pipe, arch culvert, Class III	LF	32.00	\$140.00	\$4,480.00
2-7	2501.525	59' span RC pipe, arch apron	EA	4.00	\$1,150.00	\$4,600.00
2-8	2503.511	18" RC pipe sewer, Class V	LF	220.00	\$20.00	\$4,400.00
2-9	2506.509	Construct catch basin, Maplewood Plate 302 (4')	EA	1.00	\$800.00	\$800.00
2-10	2511.501	Rip rap, Class II, Mn/DOT Plates 3133B & 3134B	CY	100.00	\$40.00	\$4,000.00
2-11	2511.515	Geotextile filter, Type IV	SY	400.00	\$1.50	\$600.00
		Subtotal - Division II				\$25,390.00
		DIVISION III - WATER MAIN				
3-1	0504.602	Adjust valve box	EA	3.00	\$100.00	\$300.00
3-2	0504.602	6" MJ hydrant assembly, Maplewood Plate 500	EA	1.00	\$1,100.00	\$1,100.00
3-3	0504.603	Water main trench excavation (Gem St. hyd. tap)	LF	5.00	\$100.00	\$500.00
3-4	0504.603	6" SJDIP water main, Class 53	LF	10.00	\$25.00	\$250.00
		Subtotal - Division III				\$2,150.00
		DIVISION IV - SANITARY SEWER				
4-1	2451.603	Sanitary sewer pipe foundation, Maplewood Plate 440	LF	2750.00	\$7.00	\$19,250.00
4-2	2451.603	Sanitary sewer pipe bedding, Maplewood Plate 440	LF	2900.00	\$9.00	\$26,100.00
4-3	2503.511	4" PVC pipe sewer, Schedule 40	LF	150.00	\$10.00	\$1,500.00
4-4	2503.511	8" PVC pipe sewer, SDR 35	LF	20.00	\$25.00	\$500.00
4-5	2503.511	10" PVC pipe sewer, SDR 35	LF	580.00	\$20.00	\$11,600.00
4-6	2503.511	12" PVC pipe sewer, SDR 35	LF	2750.00	\$32.00	\$88,000.00
4-7	2503.511	12" ductile iron pipe sewer, Class 52	LF	20.00	\$70.00	\$1,400.00
4-8	2503.511	24" RCP, CI III casing pipe (open cut)	LF	64.00	\$25.00	\$1,600.00
4-9	0503.602	12" x 4" PVC wye, Schedule 40	EA	3.00	\$50.00	\$150.00
4-10	0506.602	Connect to exist. san. swr. MH (core tap & boot)	EA	3.00	\$400.00	\$1,200.00

DISTRICT 22 SANITARY SEWER REPLACEMENT
PROJECT 91-10

ITEM	Mn/DOT	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL
4-11	0506.602	Waterproof existing 48" manhole	EA	5.00	\$500.00	\$2,500.00
4-12	0506.603	48" precast MH, Maplewood Plates 400, 401 & 403	LF	125.00	\$100.00	\$12,500.00
4-13	0506.603	Outside drop at sanitary sewer manhole	LF	2.40	\$150.00	\$360.00
		Subtotal - Division IV				\$166,660.00
		GRAND TOTAL - OPEN CUT OPTION				\$399,740.00
		BRIDGE ALTERNATE				
	DEDUCT:					
2-1	2451.603	Storm sewer pipe foundation	LF	65.00	\$7.00	\$455.00
2-2	2451.603	Storm sewer pipe bedding, Maplewood Plate 340	LF	65.00	\$9.00	\$585.00
2-6	2501.521	59" span RC pipe, arch culvert, Class III	LF	32.00	\$140.00	\$4,480.00
2-7	2501.525	59" span RC pipe, arch apron	EA	4.00	\$1,150.00	\$4,600.00
2-10	2511.501	Rip rap, Cl. II, Mn/DOT Plates 3133B & 3134B	CY	60.00	\$40.00	\$2,400.00
2-11	2511.515	Geotextile filter, Type IV	SY	270.00	\$1.50	\$405.00
		Subtotal - Deduct				(\$12,925.00)
	ADD:					
A-1	0402.602	Furnish prefab. 6' wide x 20' span bridge	EA	1.00	\$2,965.00	\$2,965.00
A-2	0402.602	Install prefab. 6' wide x 20' span bridge	EA	1.00	\$10,000.00	\$10,000.00
		Subtotal - Bridge Alternate				\$12,965.00
		GRAND TOTAL - BRIDGE ALTERNATE				\$40.00

APPENDIX F
SLIPLINE INFORMATION



Replace old pipes without digging.

INSITUFORM

Strong, jointless, non-corrosive Insituform is the fast, non-disruptive way to replace pipes of various shapes and sizes.

Insituform's unique, patented process is being used all over America to reconstruct crumbling sewers and other pipeline systems without excavation. Cities, sewer districts, hospitals, schools and private industries have discovered that Insituform is the most cost-effective and sensible solution to damaged pipes of all kinds. Insituform is clean, fast, non-disruptive and in most cases stronger than the pipe it replaces. Our chemical and corrosive resistant pipe-within-a-pipe has no joints or seams, which are the cause of most pipe failures. Also, with Insituform, pipes can be replaced in a fraction of the time required by old-fashioned

methods. Usually, Insituform can accomplish in hours or days what would take weeks or months with conventional methods.

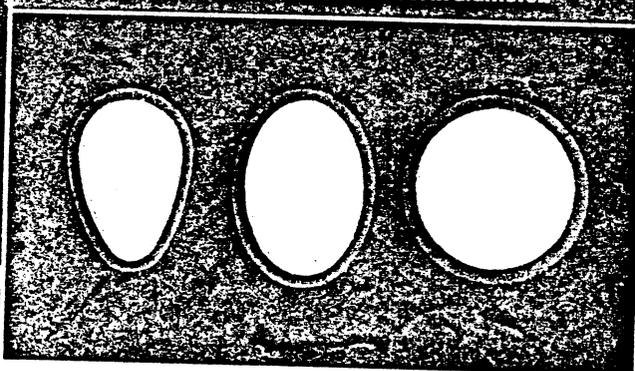
Why clients choose Insituform

Mayors and City Managers from cities of all sizes and in all parts of the country tell us they choose Insituform for three big reasons. First, there's little, if any, disturbance to people or property. This means no torn-up streets, re-routed traffic, or complaints from irate homeowners and disgruntled businesses. Second, an Insituform installation may be accomplished in hours or days, while other methods can drag on for

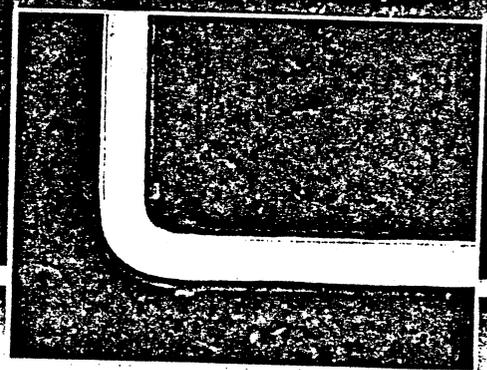
months or even years. And finally, they like the fiscal soundness of Insituform. When time, convenience, ease of installation, durability and performance are measured, Insituform is the obvious solution.

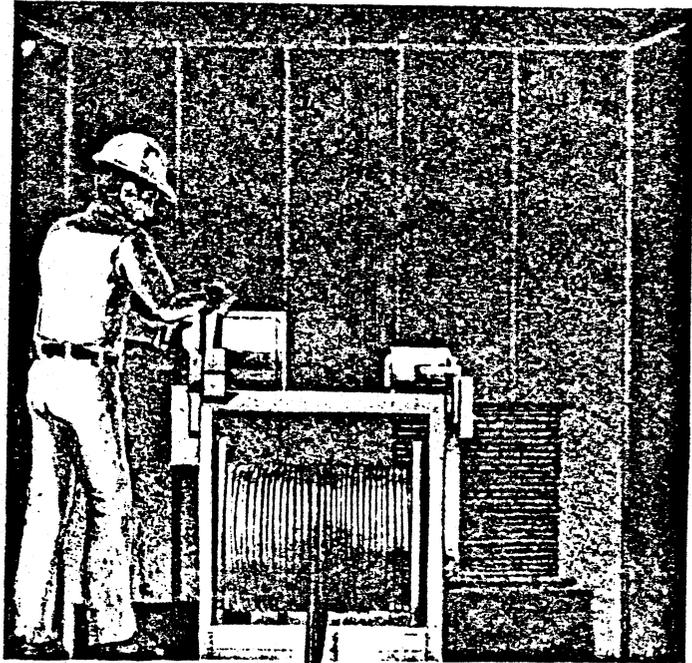
City Engineers also agree that Insituform is the Sensible Solution to pipe problems of all kinds. With Insituform, they know they'll be spared the hassles of excavation and the headaches of a long drawn-out project. Also, they won't have to tie up manpower for months and neither will they have to worry about pipe patching and maintenance in a few years. An Insituform pipe has no joints or seams to create future problems.

Insituform conforms to pipes of various shapes and sizes from 4" to several feet in diameter.



Insituform can negotiate bends up to 90°.

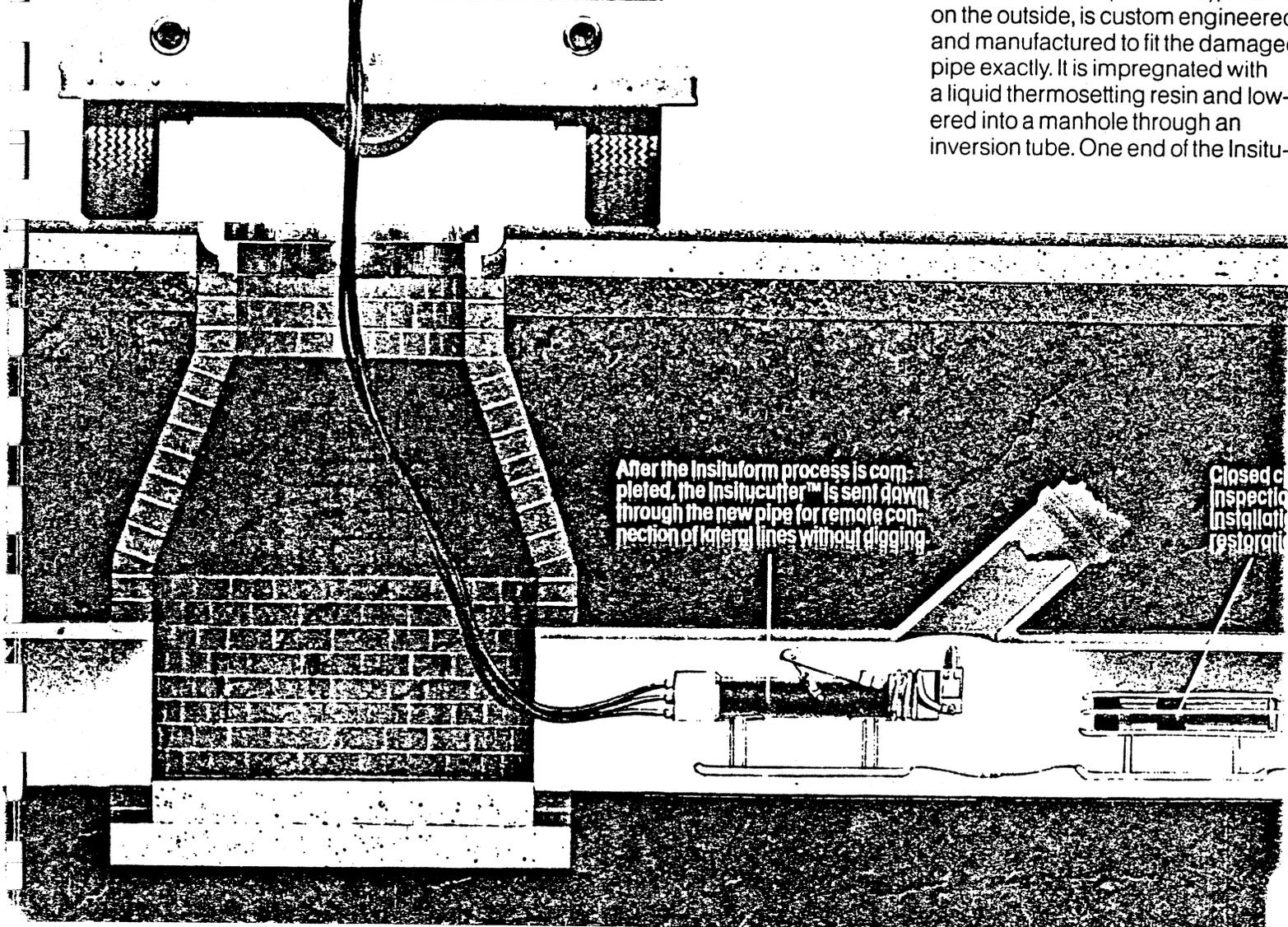




Industrial Engineers are also sold on Insituform. Since most plants can't afford to be down for more than a few hours at a time, Industrial Engineers are turning to Insituform for pipe replacement. Insituform can replace a damaged pipe overnight, over a weekend, or over a holiday to hold downtime to a minimum. And since an Insituform pipe is resistant to a wide variety of chemicals, it won't have to be replaced every few years. Industrial Engineers also like the fact that Insituform usually increases flow volume. The pipe's slick-as-glass interior offers little resistance and eliminates infiltration/exfiltration.

How Insituform is installed

Figure 1. A special needled felt reconstruction tube (Insitube), coated on the outside, is custom engineered and manufactured to fit the damaged pipe exactly. It is impregnated with a liquid thermosetting resin and lowered into a manhole through an inversion tube. One end of the Insitu-



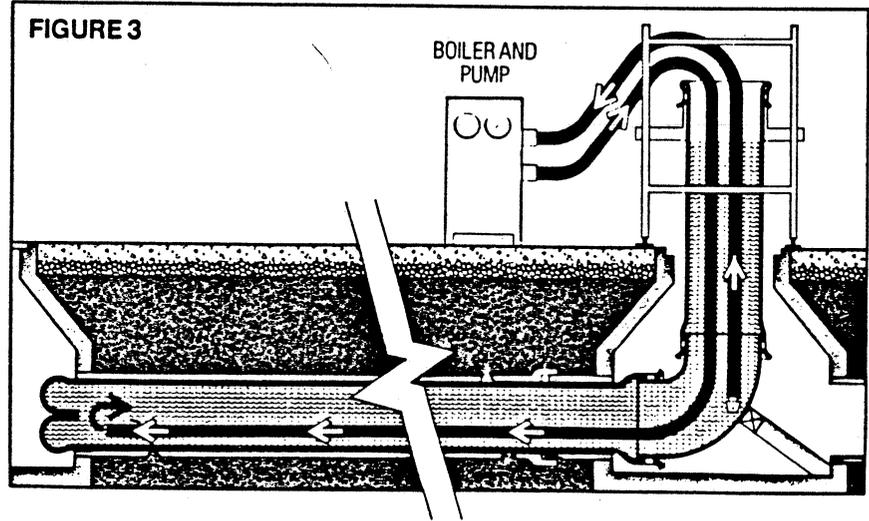
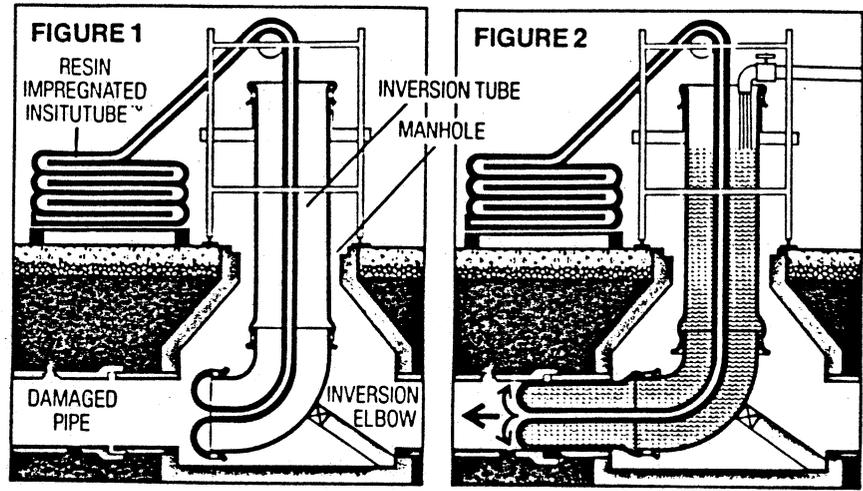
After the Insituform process is completed, the Insitucutter™ is sent down through the new pipe for remote connection of lateral lines without digging.

Closed installation restoration

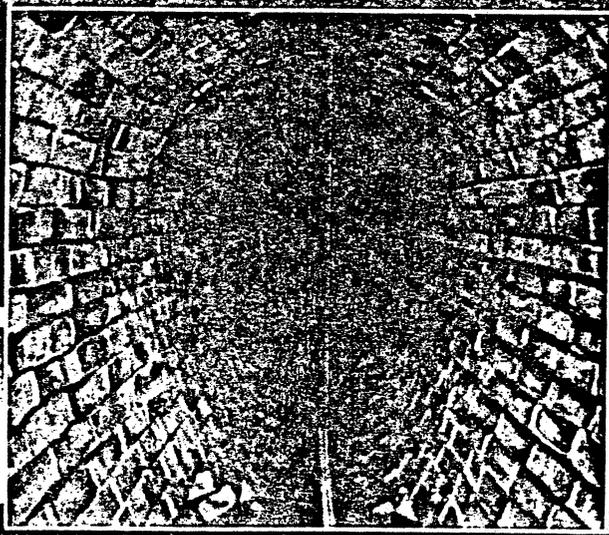
tube is firmly attached to the lower end of the inversion tube elbow.

Figure 2. The inversion tube is then filled with water. The weight of the water pushes the Insitutube into the damaged pipe and turns it inside out, while pressing the resin impregnated side firmly against the inside walls of the old pipe. The smooth coated side of the Insitutube becomes the new interior surface of the pipe.

Figure 3. After the Insitutube is inserted through the old pipe to the desired length, the water is circulated through a boiler. The hot water causes the thermosetting resin to cure within a few hours, changing the pliable Insitutube into a hard, structurally sound, pipe-within-a-pipe (Insitupipe™). It has no joints or seams and is usually stronger than the pipe it replaced. The ends are cut off and the inversion tube and scaffolding are removed. Normally, there are no messy excavation repairs to be made since most work is done without digging or disruption.

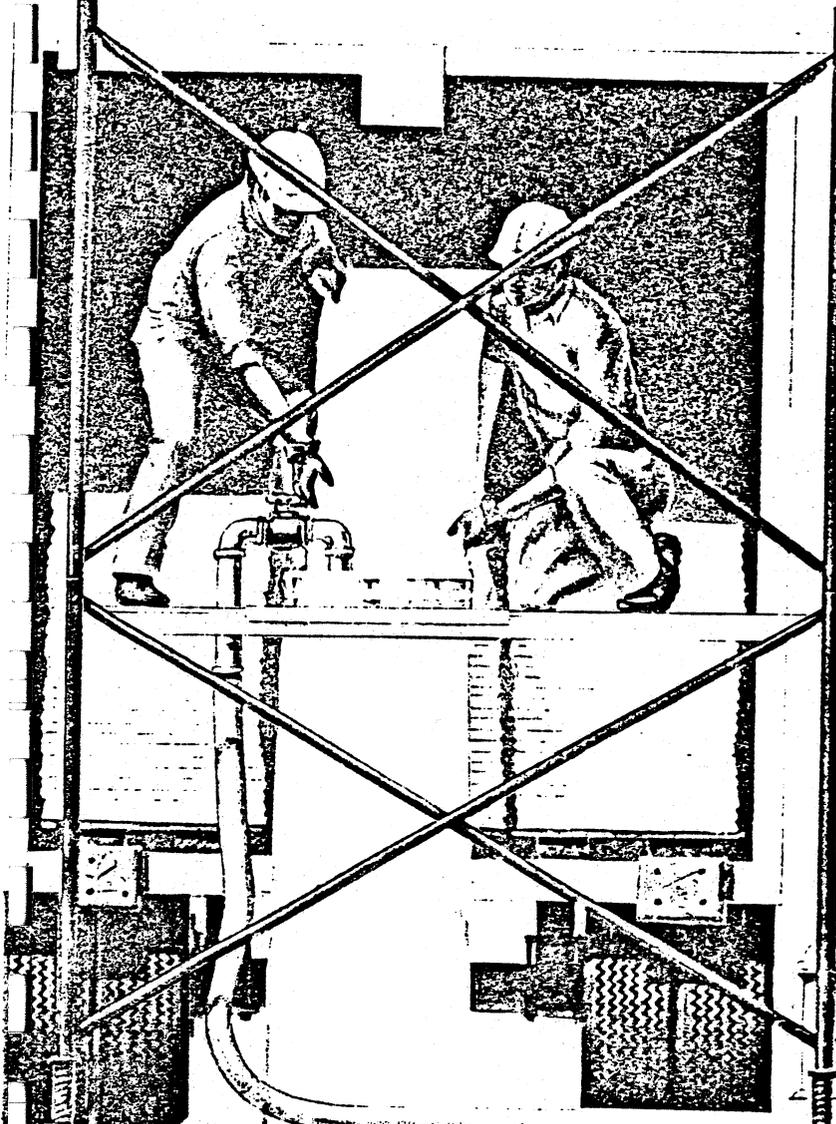


Close visual and after lateral



Before - Cracks, holes, and loose joints in the old pipe caused major problems. Exfiltration polluted the environment and infiltration brought in dirt and debris which reduced capacity, impeded flow, and endangered property above ground.

After - Insitupipe completely replaced the old pipe with a new, stronger pipe. The new pipe's smooth, as-glass interior increases flow, and there are no joints or seams to weaken and break. Leakage and seepage have been totally eliminated.



"Our first use of Insituform prevented a major collapse of egg-shaped brick sewers at downtown sites. Since then, MSD has used Insituform on various projects, including over 11,000 feet of residential sewers."

Robert J. Hagel
Executive Director
Metropolitan St. Louis
Sewer District

"It was an unbelievable experience seeing 440 feet of 27-inch drainage line rebuilt by Insituform in 24 hours with an interior surface so smooth that the flow in the pipe will be better than it was when the pipe was new."

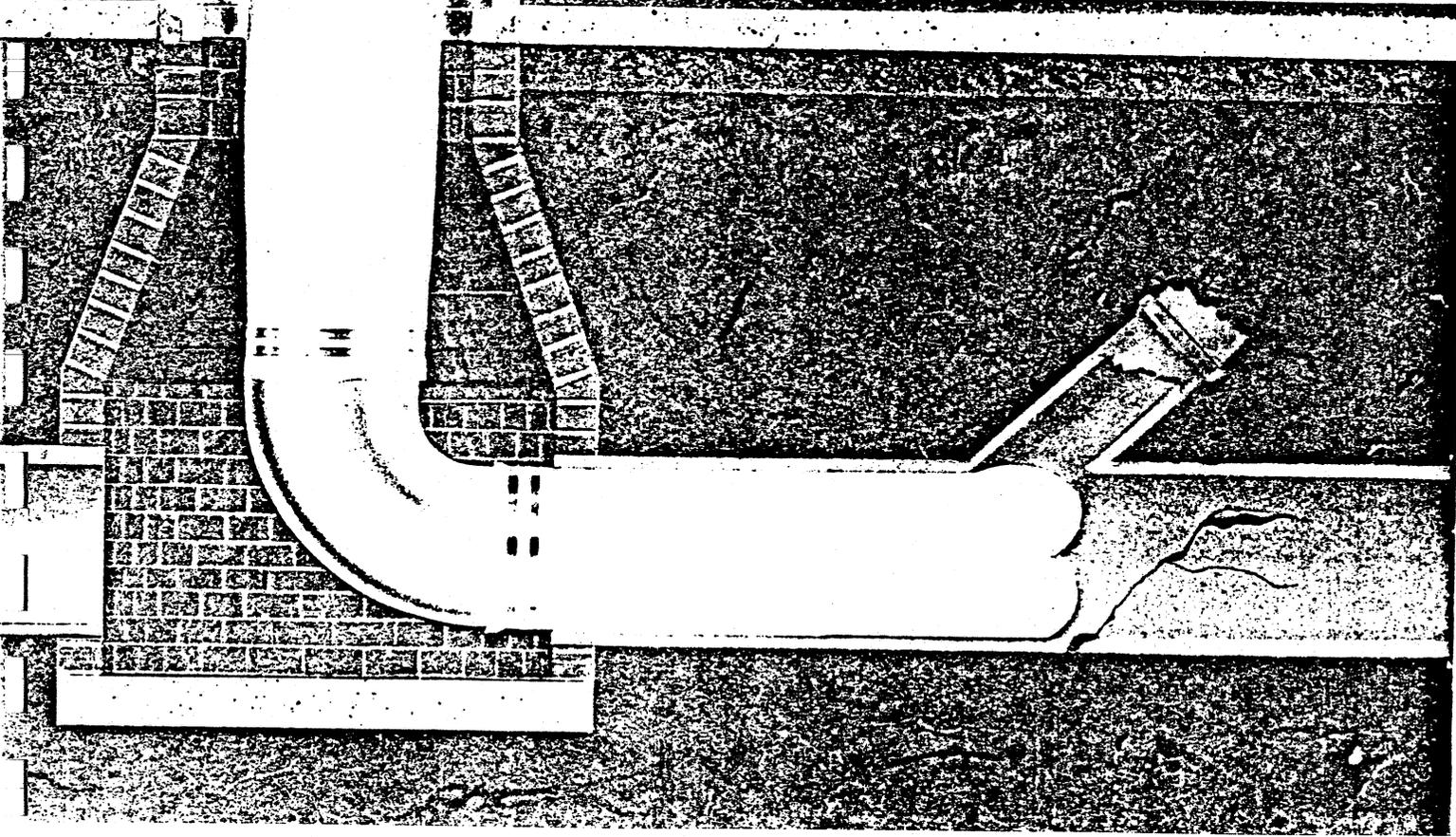
Joseph A. Cappelli
Manager of Maintenance
SCM Pigments' Glidden Division
Baltimore, Maryland

"Insituform was the only choice for reconstructing our 42,000 feet of sanitary sewer lines. It is quick, cost effective, and most important, there is no excavation in any of our streets."

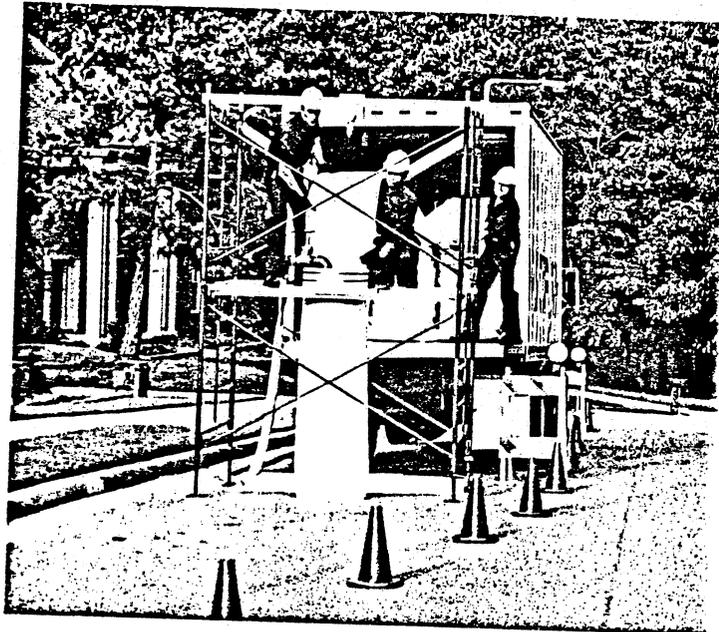
David R. Lovejoy, P.E.
Superintendent of Public Works
and Village Engineer
Freeport, New York

"As a result of our contract for the reconstruction of sewer mains by Insituform, we have had a substantial reduction in sewer infiltration. The net result is that our cost for Insituform, \$265,000, will be recovered in a little over one year."

Jack L. Haygood, P.E., Director
Department of Water and Sewers
Hialeah, Florida



Insituform for no-dig pipe replacement



Digging up streets is a dirty, messy, time-consuming, and expensive process. It can also be dangerous, unsightly and a serious disruption to neighborhoods and businesses. It may even be a political liability. It most certainly will be a highly sensitive issue and a constant irritant to the person responsible for the project.

The conventional method of pipe replacement, shown on the left, could take months. If the replacement occurs in a business district, the disruption

of traffic could be disastrous to store owners. Compare that method with the Insituform way, shown on the right, which can *replace those old pipes with a better product in a fraction of the time.*

For a cost effective, better than new means of reconstruction without disruption, do what more and more cities, sewer districts and industrial plants across the country are doing. Turn to Insituform.

The Sensible Solution

INSITUFORM

INSITUFORM MID-AMERICA

18022 EDISON AVENUE
CHESTERFIELD, MISSOURI 63017
(314) 532-6137
1-800-325-1159

INSITUFORM TEXARK

4001 AIRPORT FREEWAY, SUITE 500
BEDFORD, TEXAS 76021
(817) 267-8017

INSITUFORM PLAINS

4421 WEST HARRY
WICHITA, KANSAS 67209
(316) 942-5996
4702 ROUTE 67
SEDALIA, COLORADO 80135
(303) 688-3676

INSITUFORM MISSOURI

18022 EDISON AVENUE
CHESTERFIELD, MISSOURI 63017
(314) 532-6137
1-800-325-1159

INSITUFORM CENTRAL

18022 EDISON AVENUE
CHESTERFIELD, MISSOURI 63017
(314) 532-6137
1-800-325-1159

APPENDIX G

SLIPLINE INFORMATION
COST ESTIMATES

DISTRICT 22 SANITARY SEWER REPLACEMENT
PROJECT 91-10

ITEM	Mn/DOT	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL
		INSITUFORM OPTION				
		DIVISION V - SANITARY SEWER				
5-1	0503.602	Secure existing sanitary sewer casting	EA	30.00	\$75.00	\$2,250.00
5-2	0503.602	Waterproof existing manhole interior	EA	30.00	\$250.00	\$7,500.00
5-3	0503.603	Insituform north of Co. Rd. C	LF	3319.00	\$60.00	\$199,140.00
5-4	0503.603	Insituform south of Co. Rd. C	LF	1274.00	\$65.00	\$82,810.00
5-5	0503.606	Reconnect existing sanitary sewer service	EA	1.00	\$500.00	\$500.00
		Subtotal - Division V				\$292,200.00
		DIVISION VI - REMOVALS AND RESTORATION				
6-1	2021.501	Mobilization	LF	1.00	\$3,200.00	\$3,200.00
6-2	2101.501	Clearing	AC	0.25	\$1,500.00	\$375.00
6-3	2101.506	Grubbing	AC	0.25	\$1,500.00	\$375.00
6-4	2105.501	Common excavation	CY	500.00	\$2.00	\$1,000.00
6-5	0105.606	Common channel excavation	LF	150.00	\$5.00	\$750.00
6-6	2105.522	Select granular borrow, CV	CY	835.00	\$8.00	\$6,680.00
6-7	0116.603	Geotextile fabric	SY	3000.00	\$2.00	\$6,000.00
6-8	2211.501	Aggregate base, Cl. V, 100% crushed	T	665.00	\$7.00	\$4,655.00
6-9	0554.602	Guard post installation, Maplewood Plate 605	EA	2.00	\$800.00	\$1,600.00
		Subtotal - Division VI				\$24,635.00
		DIVISION VII - STORM SEWER				
7-1	2451.603	Storm sewer pipe foundation	LF	65.00	\$7.00	\$455.00
7-2	2451.603	Storm sewer pipe bedding	LF	65.00	\$9.00	\$585.00
7-3	2501.511	24" CS pipe culvert	LF	20.00	\$15.00	\$300.00
7-4	2501.515	24" CS pipe apron	EA	2.00	\$150.00	\$300.00
7-5	2501.521	59" span RC pipe, arch culvert, Class III	LF	32.00	\$140.00	\$4,480.00

DISTRICT 22 SANITARY SEWER REPLACEMENT
PROJECT 91-10

ITEM	Mn/DOT	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL
7-6	2501.525	59" span RC pipe, arch apron	EA	4.00	\$1,150.00	\$4,600.00
7-7	2511.501	Rip rap, Cl. II, Mn/DOT Plate 3133B	CY	60.00	\$40.00	\$2,400.00
7-8	2511.515	Geotextile filter, Type IV	SY	270.00	\$1.50	\$405.00
		Subtotal Division VII				\$13,525.00
		GRAND TOTAL INSITUFORM OPTION				\$330,360.00
		BRIDGE ALTERNATE				
	DEDUCT:					
7-1	2451.603	Storm sewer pipe foundation	LF	65.00	\$7.00	\$455.00
7-2	2451.603	Storm sewer pipe bedding, Maplewood Plate 340	LF	65.00	\$9.00	\$585.00
7-5	2501.521	59" span RC pipe, arch culvert, Class III	LF	32.00	\$140.00	\$4,480.00
7-6	2501.525	59" span RC pipe, arch apron	EA	4.00	\$1,150.00	\$4,600.00
7-7	2511.501	Rip rap, Cl. II, Mn/DOT Plates 3133B & 3134B	CY	60.00	\$40.00	\$2,400.00
7-8	2511.515	Geotextile filter, Type IV	SY	270.00	\$1.50	\$405.00
		Subtotal - deduct				(\$12,925.00)
	ADD:					
A-1	0402.602	Furnish prefab. 6' wide x 20' span bridge	EA	1.00	\$2,965.00	\$2,965.00
A-2	0402.602	Install prefab. 6' wide x 20' span bridge	EA	1.00	\$10,000.00	\$10,000.00
		Subtotal - Bridge Alternate				\$12,965.00
		GRAND TOTAL - BRIDGE ALTERNATE				\$40.00